

June 5, 1980 Non-STRUCTURAL *San Diego High School* 806337 JUN-580
APPLICATION TO Interior Remodeling, Incl. Elec., Plbg., Mech., 7900x NON VALUE \$63,200
EXAM. FEE \$32.00

LOT BLOCK SUBDIVISION NE 1/4 of
Sec. 18 T28S R919E (see attached)
ADDRESS 1707 E. Fowler Ave.
CONTRACTOR WASILEWSKI Construction PHONE 971-8529
ARCHITECT Associated Designers & Arch. PHONE
OWNER Showbiz Pizza Palace PHONE
CITY PLAT B-13 ZONE C-2 FIRE LIMITS yes FLOOD PLAIN Zone (C)

HOTEL COMMISSION APPROVAL B43898 - 7/11/80 BARBIO LATINO APPROVAL
STRUCTURAL
DATE IN DISAPPROVED DATE APPROVED DATE 6/16/80
PROBLEMS/CONTACTS/DATES AS NOTED
See notes.

ELECTRICAL
DATE IN DISAPPROVED DATE APPROVED DATE 7/11/80
PROBLEMS/CONTACTS/DATES AS NOTED
See Notes

MECHANICAL
DATE IN DISAPPROVED DATE APPROVED DATE 7/11/80
PROBLEMS/CONTACTS/DATES ref. to note #14 additional

PLUMBING
DATE IN DISAPPROVED DATE APPROVED DATE 6/25/80
PROBLEMS/CONTACTS/DATES Gas must conform to paragraph 54
signing street corner

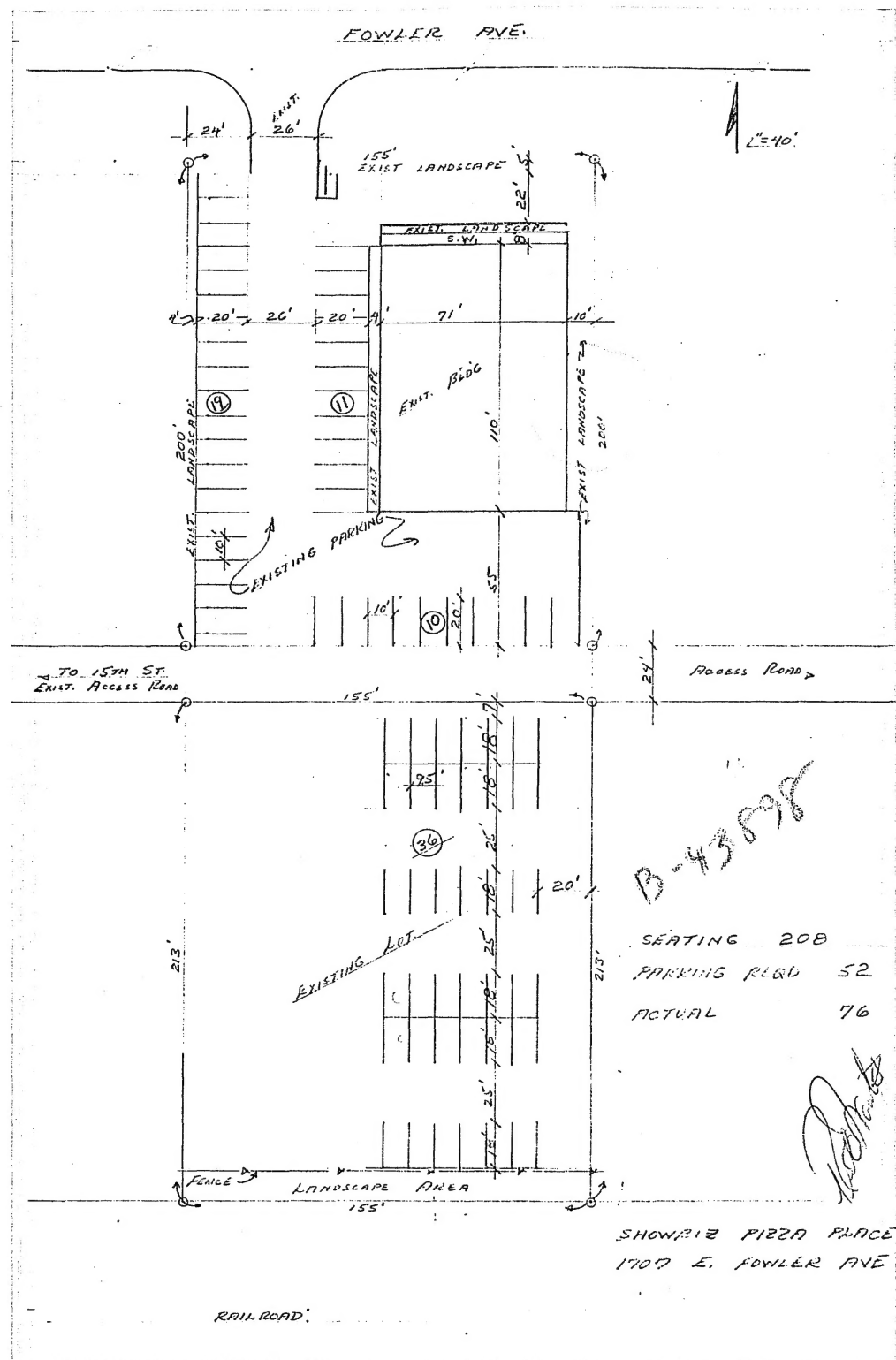
PARKING/ZONING
DATE IN DISAPPROVED DATE APPROVED DATE 7/11/80
PROBLEMS/CONTACTS/DATES Approved as per new plot plan attached. Additional
existing parking area - remodeling of existing structure

TRAFFIC ENGINEERING
DATE IN DISAPPROVED DATE APPROVED DATE 6/11/80
PROBLEMS/CONTACTS/DATES W/A.

DRAINAGE
DATE IN DISAPPROVED DATE APPROVED DATE 6/11/80
PROBLEMS/CONTACTS/DATES N/A.

LANDSCAPING
DATE IN DISAPPROVED DATE APPROVED DATE 7/11/80
PROBLEMS/CONTACTS/DATES Interior Remodeling
containing existing landscaping to code

FIRE MARSHALL
DATE IN DISAPPROVED DATE APPROVED DATE 7/11/80
PROBLEMS/CONTACTS/DATES for fire marshal
2 interior finish
3 sound barrier platform OK w/ 1/2" 80 non-com on 40 n.c.



LEGAL DESCRIPTION

For a part of reference commence at the Northeast 1/4 of Section 16, Township 28 South, Range 19 East, Hillsborough County, Florida and run thence along the West boundary of the said Section 16, South 60°-20'-00" West, 132.00 feet to a point on the South line of Way line of Public Avenue (S.A. 582) thence along said Right of Way line, South 87°-37'-31" East, 500.00 feet to the point of beginning of the tract herein described thence continuing along the said Right of Way line, South 87°-37'-31" East, 155.00 feet; thence South 20°-20'-00" West, 500.00 feet; thence North 60°-20'-00" East, 500.00 feet to the point of beginning. Containing 0.7117 Acres M.C.L.

UTILITY NOTES

WATER - CITY OF TAMPA
SEWER - CITY OF TAMPA
TELEPHONE - CENTRAL TELEPHONE
GAS - TAMPA ELECTRIC
GAS - BOWLES GAS

NOTES

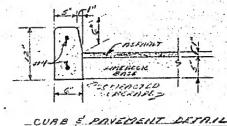
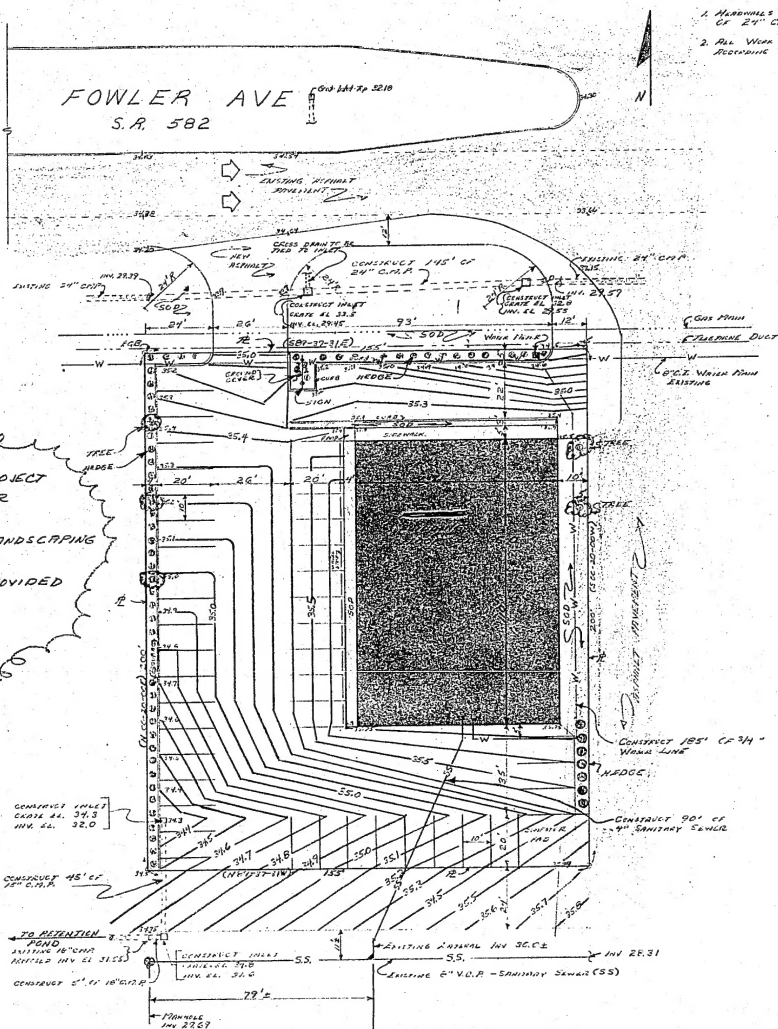
1. HORIZONTAL AND 12" DIP TO BE REMOVED PRIOR TO ADJUSTMENT OF 24" C.P.A. IN S.O.P. PLAN. SEE SEWER SHARP ADJUSTMENT.
2. ALL WORK SHOWN IN D.E.E. PLAN TO BE CONSIDERED PERTAINING TO S.E.T. OPERATIONS.

FWLER AVE
S.A. 582

NOTE: THIS IS A REMODEL PROJECT
• THIS SITE PLAN IS FOR
EXISTING CONDITIONS
• NO NEW PAVEMENT OR LANDSCAPING
REQUIRED
• DRAINAGE PREVIOUSLY PROVIDED

REMARKS

DRAINAGE FOR SITE IS
A DRAIN TO RETENTION
POND LOCATED IN BACK
OF WEEDY'S POND TO BE
DEVELOPED. SEE ATTACHED
CIRCULATIONS.



SITE PLAN

SHOUBIR TREE PALACE
1001 E. FOWLER AVE
TAMPA, FLORIDA

NAME	DATE	APPROVED BY
DETAILED BY	4/20	
CHECKED BY		
QUANTITY BY		
CHECKED BY		
YACED BY		

DESIGNER NO. 5-1



Showbiz Pizza Place, Inc.

SCHEDULE OF DRAWINGS

SHEET NUMBER	SHEET TITLE	DATE	CODE
0	COVER SHEET W/ SCHEDULE OF DRAWINGS	5-15-80	AS/R&L
D-1	PERSPECTIVE VIEW OF THEATRE, DINING "B"	5-15-80	AS/R&L
A-1	FLOOR PLAN, ROOF PLAN & COMPRESSOR ROOM	5-15-80	4/L
A-2	EXTERIOR BUILDING ELEVATIONS, DETAILS & SITE PLAN	5-15-80	4/L
A-3	ROOM FINISH COLOR SCHEDULE & NOTES	5-15-80	4/L
A-4	DOOR & WINDOW SCHEDULE, RESTROOM & MISC. DETAILS	5-15-80	4/L
A-5	INTERIOR ELEVATIONS	5-15-80	4/L
A-6	INTERIOR ELEVATIONS & ROOF PENETRATION DETAILS	5-15-80	4/L
A-7	RAILINGS, KITCHEN COUNTERS, SLOPING CEILING & BEVERAGE COUNTER & MISC. DETAILS	5-15-80	4/L
A-8	KID'S CRAWL, T. V. MONITOR, PEG BOARD, KIDDIE BOX, TELEPHONE CABINET & MISC. DETAILS	5-15-80	4/L
A-9	FLOOR PLAN DINING "B" & ELEVATION OF PLATFORM FOR ANIMATED CHARACTERS	5-15-80	4/L
A-10	STORE DETAILS	5-15-80	4/L
K-1	KITCHEN EQUIPMENT FLOOR PLAN	5-15-80	4/L
K-2	KITCHEN EQUIPMENT ELECTRICAL PLAN	5-15-80	4/L
K-3	KITCHEN EQUIPMENT MECHANICAL PLAN	5-15-80	4/L
H-1	PLUMBING & HVAC SYSTEMS	5-15-80	4/L
H-2	PLUMBING & HVAC SYSTEMS	5-15-80	4/L
E-1	ELECTRICAL POWER SYSTEMS	5-15-80	4/L
E-2	ILLUMINATION PLAN	5-15-80	4/L
E-3	KITCHEN ELECTRICAL SYSTEMS	5-15-80	4/L
E-4	ELECTRICAL SCHEDULES & DETAILS	5-15-80	4/L
ID-1	INTERIOR IDENTIFICATION & DECOR - EXTERIOR SIGNAGE	5-15-80	4/L
PM-15	PROJECT MANUAL - ARCHITECTURAL	5-15-80	4/L
PM-16	PROJECT MANUAL - ARCHITECTURAL	5-15-80	4/L
PM-65	PROJECT MANUAL - MECHANICAL	5-15-80	4/L
PM-75	PROJECT MANUAL - ELECTRICAL	5-15-80	4/L

LOCATION OF UNIT NO.13 (SPP-691)

1707 EAST TOWNE AVENUE
TAMPA, FL 33614



Showbiz Pizza Place, Inc.
A Subsidiary of Repast Management Inc.
2001 WEST 78th AVE.
MIAMI, FL 33155

UNIT NO.

A
S
13



AS R&L

COVER
SHEET W/
SCHEDULE
OF DWGS.

5-15-80

5-15-80

5-15-80

ASSOCIATED
DESIGNERS &
ARCHITECTS

1707 EAST TOWNE AVENUE
TAMPA, FL 33614

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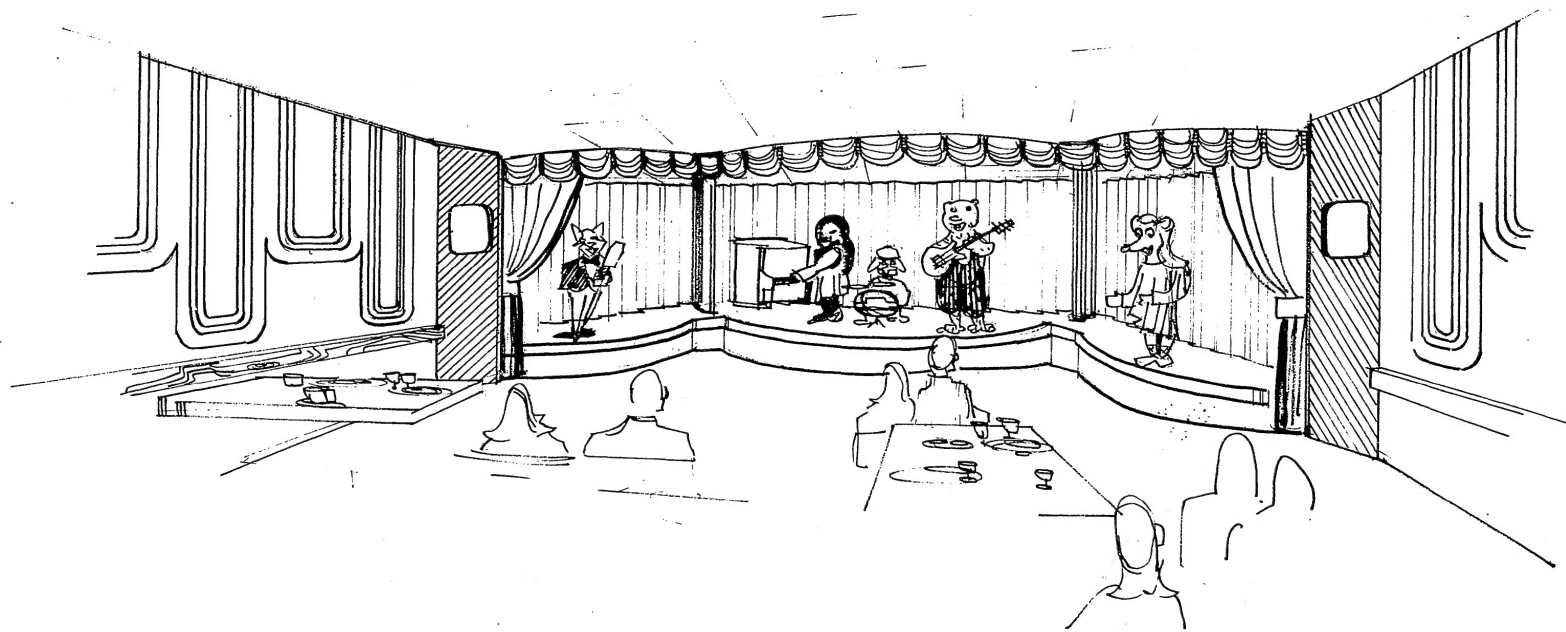
1707 EAST TOWNE AVENUE
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DESIGNERS & ARCHITECTS, P.A.



8/13/89



Showbiz Pizza Place, Inc.
A subsidiary of Regatta Inc. Management Inc.
220 WEST 10th Street, Suite 100, Fort Worth, Texas 76102
Development of

UNIT NO.

A
S
13



A R/L

PERSPECTIVE
VIEW OF
THEATER
DINING

1/15/89

1/15/89

1/15/89

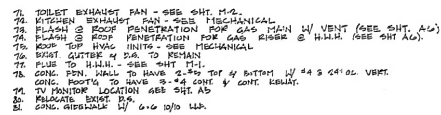
ASSOCIATED
DESIGNERS &
ARCHITECTS

MISSION STATE
220 WEST 10th Street
Suite 100, Fort Worth, Texas 76102
TEL (817) 331-1222

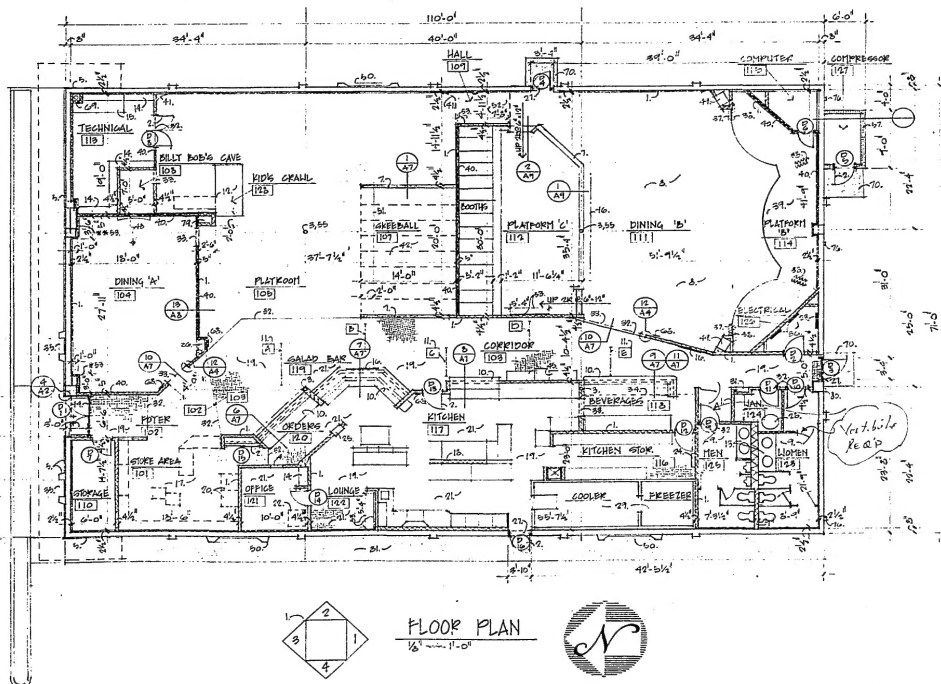
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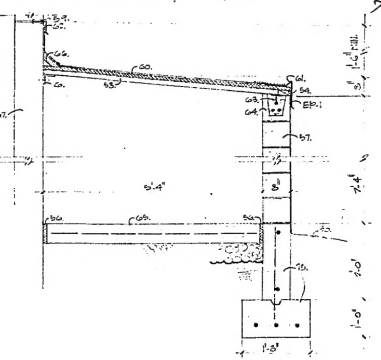
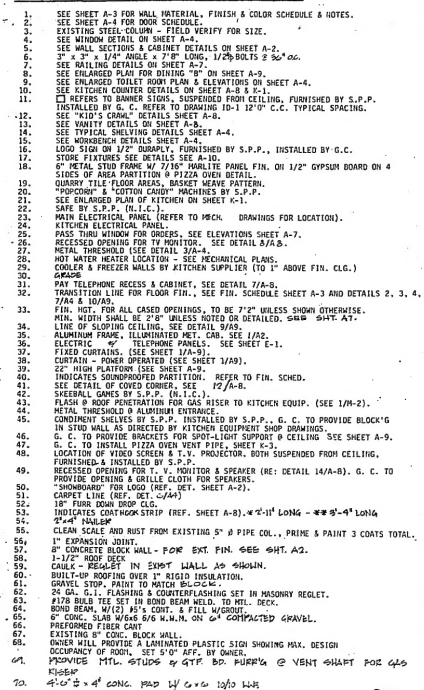
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ROOF PLAN



FLOOR PLAN



SECTION @ COMPRESSOR RM

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Showbiz Pizza Place, Inc.

UNIT NO.
S
13



S	L
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FLOOR PLAN
ROOF PLAN
COMPRESSOR
ROOM

79-115-13

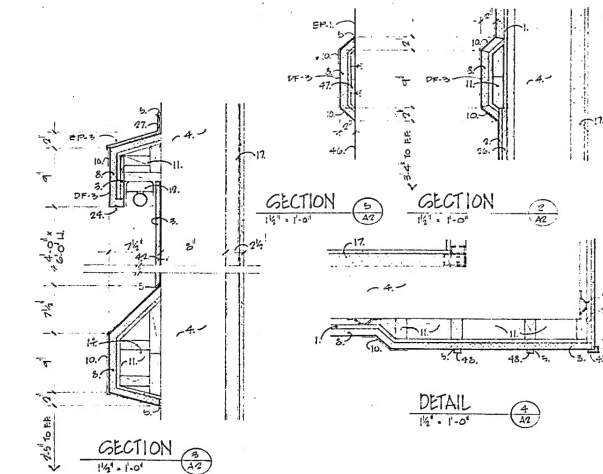
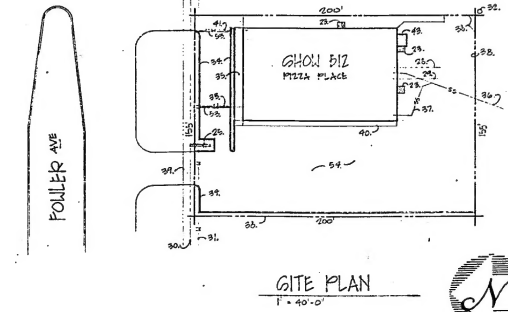
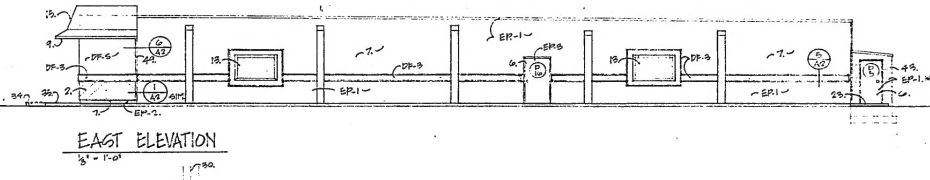
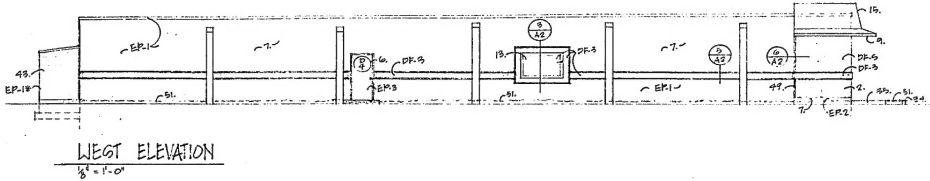
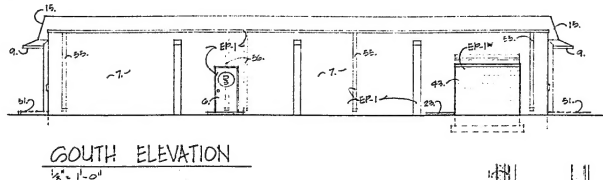
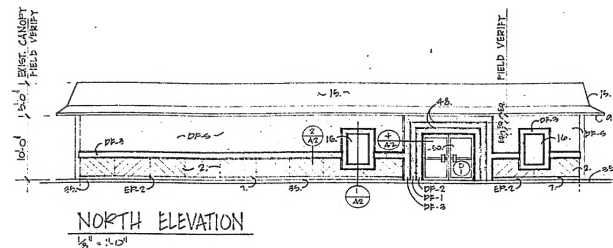
5-15-80

**ASSOCIATED
DESIGNERS &
ARCHITECTS**

MISSION STATE
BANK BUILDING
5701 JOHNSON DR
MISSION, KS 66205
TEL (913) 432-1020

A1

5.5.19 67!



CONSTRUCTION NOTES:

- 1/2" GYP BD. ON 1/2" FLOORING C'S & 10" O.C. SECURED TO EXIST. HANDMAINT.
2. MAGNETITE 1/2" O.C. FIBER-REINFORCED CONCRETE. 10" O.C. CUT. FRONT 10" LENGTHS. SEE FINISH NOTES. WHERE EXPOSED. (GOLD) DIAGONAL PATTERN.
3. 1/2" CON. FLOORING. 10" O.C. CUT. FRONT 10" LENGTHS. SEE FINISH NOTES. WHERE EXPOSED. (GOLD) DIAGONAL PATTERN.
4. EXIST. 2" CONC. BLK.
5. GABLE OR GABLE NO. REQ'D.
6. DOOR SCHEDULE 1, SHT. A-1.
7. EXIST. BLK. TO BE PAINTED AS INDICATED.
8. 1/2" GYP. SYNTHETIC PLASTER ON 1/2" POLYESTER INSUL. BD. 1/2" GYP.
9. EXIST. SCEPT. COARSE LAYER OF 'DETVIT' REIN. FABRIC ON TAFFERED SURFACES. WHERE NOTED.
10. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
11. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
12. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
13. SHOLDBOARD FOR LOGO.
14. BELL & HOWE. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
15. EXIST. CANOPY.
16. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
17. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.
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50. 1/2" GYP. FLOOR. LIGHT PICTURE ALLOW. FOR REMOVAL OF FLOOR. LAMP. REFER TO BLUE. PLANS.



Showbiz Pizza Place, Inc.
A Subsidiary of Parkside Inc. Management Inc.
2200 WEST 26th - TULSA, OKLAHOMA 74107
Tel: (918) 437-1001

UNIT NO.
S
13



WALL ELEV.
DETAILS
SITE PLAN

74-110-15

DATE 5-16-80

SCALE

ASSOCIATED
DESIGNERS &
ARCHITECTS

MISSION STATE
THIS DRAWING IS
THE PROPERTY OF
ASSOCIATED DESIGNERS & ARCHITECTS
TEL: (918) 437-1001

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SFP 1/91

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PLATFORM 'B' CURTAINS, TRACKS & EQ. 19

- ## INSULATION NOTES

- LAMINATED PLASTIC TOPS

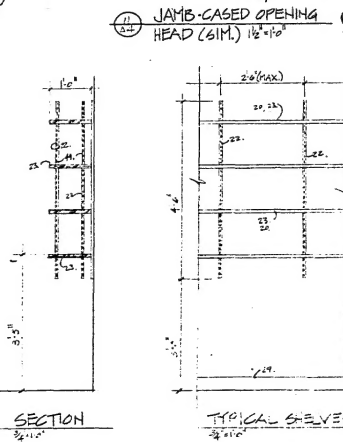
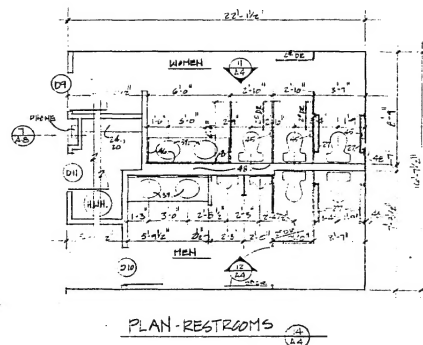
- GRILL CLOTH

DOOR TYPES

The diagrams show four types of doors:

- A**: L.D. door (Left Hand Door, opening out). It is a single door with a handle on the right side.
- B**: H.M. door (Half Mortise door). It is a single door with a handle on the right side.
- C**: L.D. door (Left Hand Door, opening out). It is a single door with a handle on the right side. The handle is labeled "H.M. handle" and "H.M. handle plate".
- D**: H.M. door (Half Mortise door). It is a single door with a handle on the right side. The handle is labeled "H.M. handle" and "H.M. handle plate".

ELEVATION - WOMENS RESTROOM



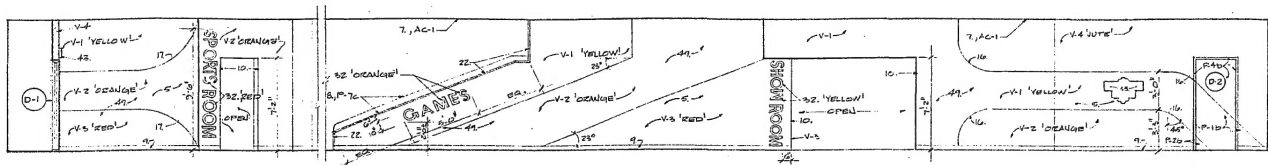
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CONSTRUCTION NOTES

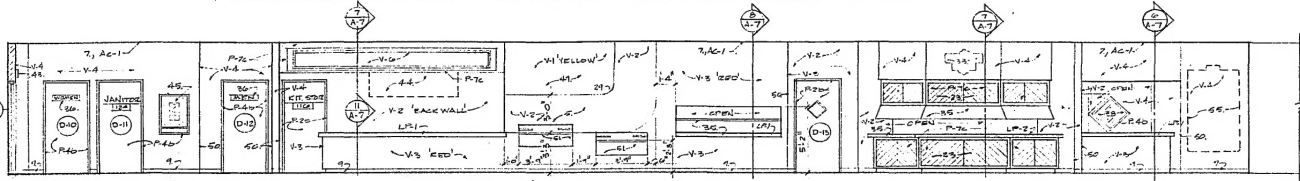
1. WIDE WALLS OF CHINA ROOM TO HAVE "SPECIAL WALL FINISH, FINISH BY S.P.P. INTERIOR CONSTRUCTION".
2. PLATFORMS ARE ALUMINUM CHARACTERISTICS, SEE ENCLOSED PLAN AND DETAILS ON SHEET A-5.
3. 1/2" STAIN GRADE OAK WOOD CHARACTERISTICS.
4. CARPET WALL COVERING, SEE FINISH NOTES THIS SHEET & SHEET A-5.
5. VINYL WALL COVERING, SEE FINISH NOTES THIS SHEET & SHEET A-5.
6. SMOOTH EQUIPMENT OF S.P.P.
7. S.P.P. AND SUSPENDED INDUSTRIAL CEILING.
8. SEE RAILING DETAIL FOR CAP & FRAMING, SEE DETAIL V-17.
9. COVERINGS FROM "PAPERLESS" JONES.
10. CASED OPENING EXTERNAL CORNER JAMBS & RAILING EXTERNAL CORNERS SHALL BE PROTECTED FULL HEIGHT BY 1/4" CLEAR LEAN PLASTIC, IS MANUFACTURED BY TRI-QUADRO, DATED BY PHOENIX PRODUCTS.
11. COVERING FINISHES W/ CARPET.
12. EXTERIOR CYCLE CLOTH BY G.C. (SEE PLAN SHEET A-5).
13. FLOOR PLATFLOOR W/ 2" DIA. JOIST @ 16" O.C. ON 2" DIA. JOIST AS REQUIRED TO LEVEL, MAX JOIST SPAN = 6'-0" @ 16" O.C. @ 2" DIA. JOIST. PLUMBED TO RECEIVE CARPET FINISH.
14. COVERING FINISHES W/ CARPET.
15. KIDS, DRAWN IN PORTUGUESE.
16. S.P.P. JOINTS.
17. 2" DIA. RADIUS.
18. 2" DIA. RADIUS.
19. 2" DIA. RADIUS.
20. 2" DIA. RADIUS.
21. 2" DIA. RADIUS.
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FINISH NOTES

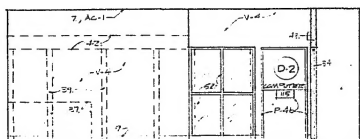
1. 1/4" THICK 1/4" VINYL WALL COVERING, CARPETS.
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ELEVATION OF FOYER '02' & CORRIDOR '03' WALL #2



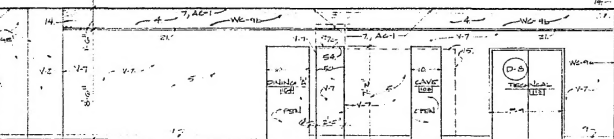
ELEVATION OF CORRIDOR '03' WALL #4



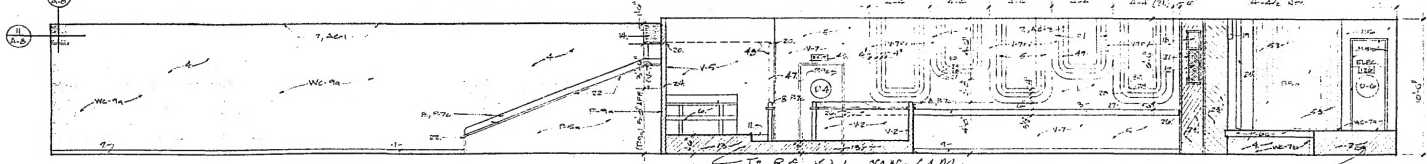
FOYER '02' WALL #4



STORE AREA '10' FOYER '02' WALL #3



PLAYROOM '05' WALL #3



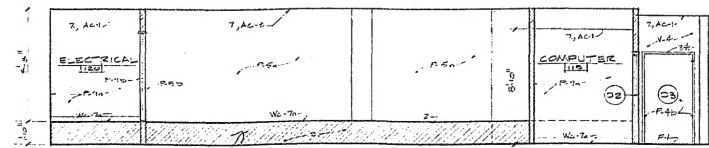
PLAYROOM '05' WALL #2

PLATFORM 'C' '112' WALL #2

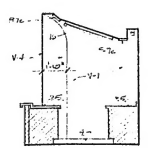
DINING 'B' '111' (SHOW ROOM) WALL #2

PLATFORM 'B' '114' WALL #1

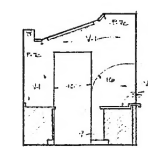
INTERIOR ELEVATIONS



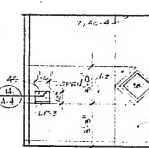
PLATFORM 'B' '114' WALL #1



BEVERAGES '115' WALL #3

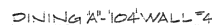
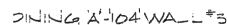
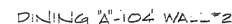
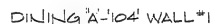


CORR. '03' TO KIT. - WALL #1



ORDERS '120' - STORE AREA '10' WALL #4

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INTERIOR ELEVATIONS



- [illegible]

WITHIN 1/4" THICK WALL COVERING SYMBOLS.
AC-1 THEN AC-4 = ACOUSTICAL CEILING TILE SYMBOLS.
R1 THEN R14 = FAN FANES NOTES.
U1 THEN U14 = LAMINATED PLASTIC NOTES
(SEE SHEET 1-3 FOR MAIN & COLOR CODES & NOTES.)



Showbiz Pizza Place, Inc.

UNIT NO.
S
13

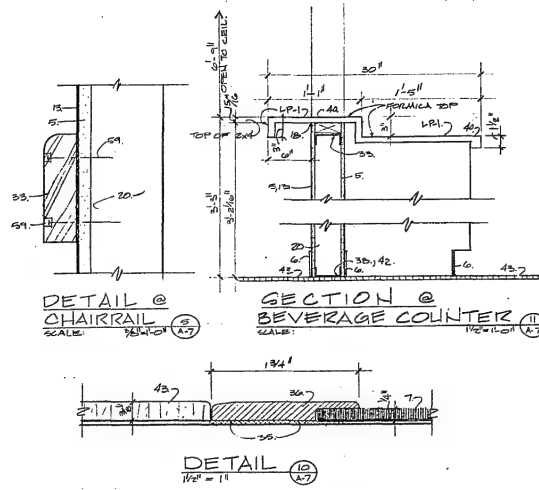
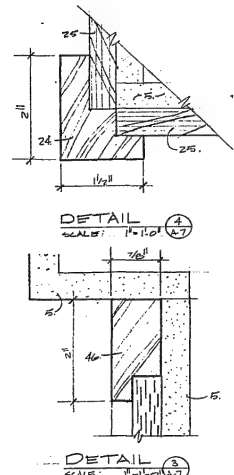
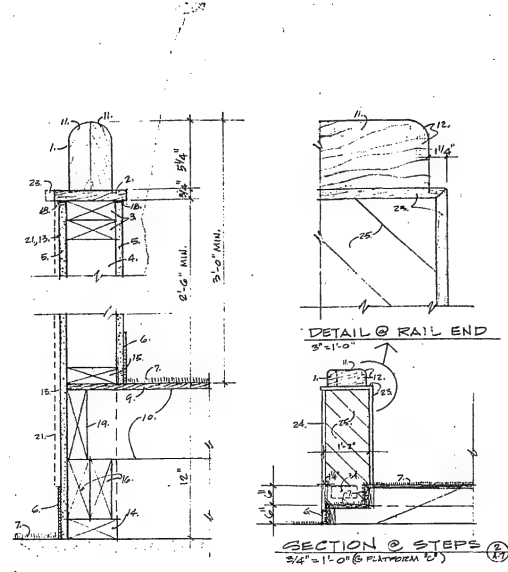
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ELEVATIONS
AND ROOF
PENETRATION
DETAILS

79-115-13
DATE
5-15-80

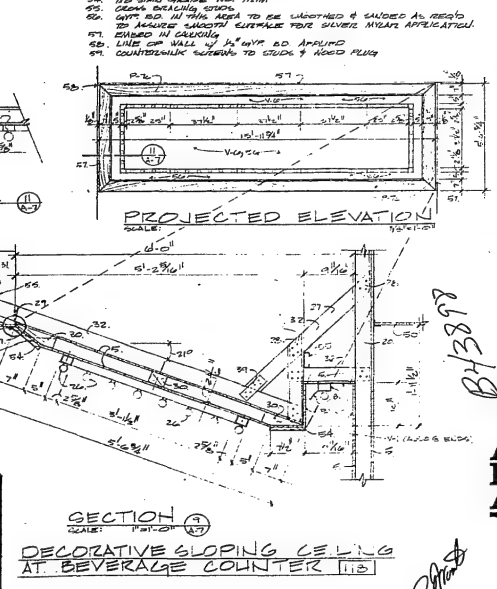
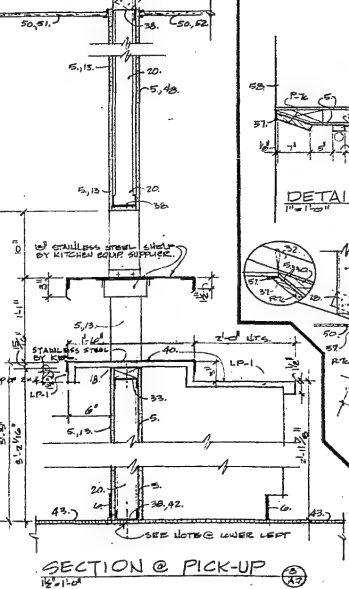
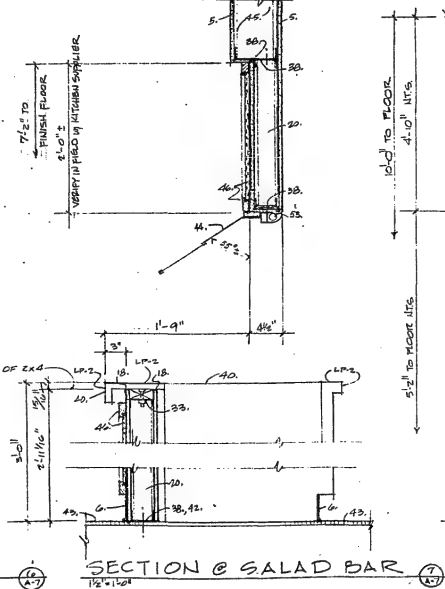
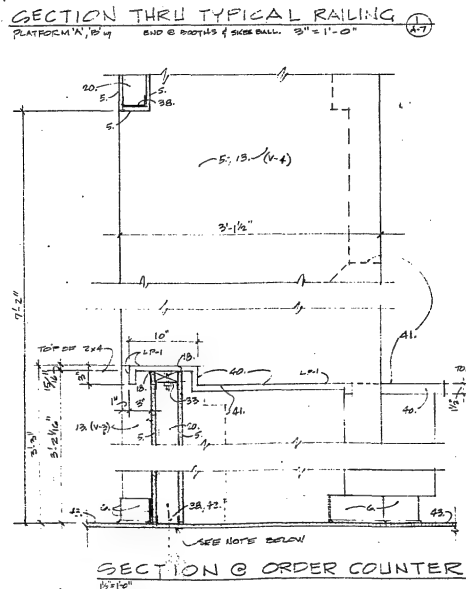
**ASSOCIATED
DESIGNERS &
ARCHITECTS**

A6

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IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF
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DESIGNERS & ARCHITECTS, P.A.



- ### CONSTRUCTION NOTES
1. ALL LAMINATED & MILLED TO SHAPE SHOWN. FINISH AS SHOWN.
 2. 3/4" x 3/4" x 3/4" TRIM. STAIN GRABASH.
 3. 3/4" x 3/4" x 3/4" TRIM. STAIN GRABASH.
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NOTE:
COUNTERTOP OPTION:
QUARTZ TILE MAY BE ORDERED
UNDER WALL PARTITIONS.

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IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF
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DESIGNERS & ARCHITECTS, P. A.

SHOWBIZ PIZZA PLACE

Showbiz Pizza Place, Inc.

A subsidiary of Toyota Inc. Management Inc.

200 WEST 10TH - TOLSON, KANSAS 66101

Developer of:

UNIT NO.

A S 13

SHOWBIZ PIZZA PLACE

AS R&L

RAILINGS,
KIT. CNTR.
SLEEPING CUE
SLEEP. CNTR.
& MISCL. DTLS

79-115-15

DATE

REV. 5-15-87

1/24

**ASSOCIATED
DESIGNERS &
ARCHITECTS**

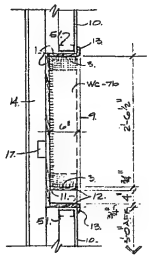
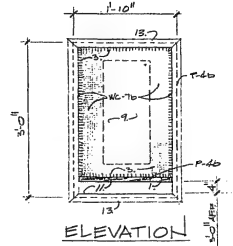
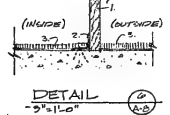
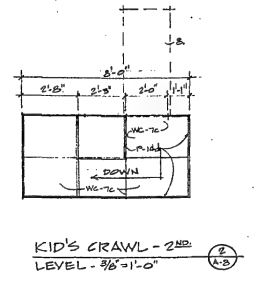
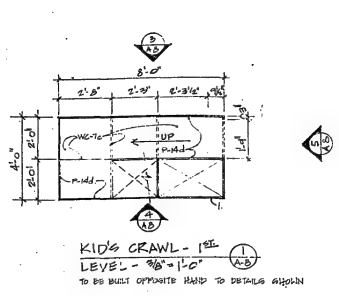
WYOMING STATE
DESIGNER OF RECORD
FOR THE PROJECT
P.L.L.C. 1000 N. 10TH
WYOMING 82001

A7

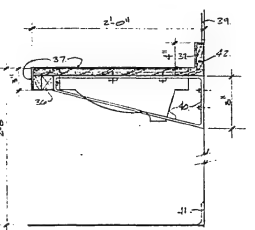
SPR 01

CONSTRUCTION NOTES

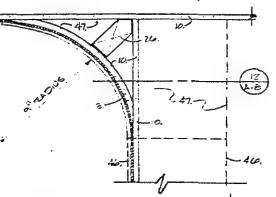
1. PAINT GRADE FLOORING w/ HANDING EDGE STRIP.
2. 1/2" x 1/2" x 1/2" CUP ANCHORS @ 12" O.C. w/ 3/8" SCREWS ANCHOR TO FLOOR.
3. GROUT & FILL GROUT SANDWICH.
4. 4" RADIUS HOLES CUT IN FLOORING & LINED w/ VINYL.
5. 6" RADIUS HOLES CUT IN FLOORING & LINED w/ VINYL.
6. 6" RADIUS HOLES CUT IN FLOORING & LINED w/ VINYL.
7. 6" RADIUS HOLES CUT IN FLOORING & LINED w/ VINYL.
8. METAL SLIDE BY 4" x 1/2".
9. TELEPHONE - SEE MECHANICAL.
10. FLOOR DO.
11. PAINT F.D.
12. 1/2" x 1/2" x 1/2" CUP ANCHORS @ 12" O.C. w/ 3/8" SCREWS ANCHOR TO FLOOR.
13. 1/2" x 1/2" x 1/2" CUP ANCHORS @ 12" O.C. w/ 3/8" SCREWS ANCHOR TO FLOOR.
14. (B) HORIZONTAL 2" x 1/2" METAL STUDS ATTACHED TO VERTICAL STUDS w/ POP TRUETS TO SUPPORT HOLLOW CORE.
15. DOUBLE HOLLOW STUDS.
16. TELEPHONE BOX & EQUIPMENT OF ELEC. COUPE.
17. CROWN MOULDING.
18. PLASTER.
19. 1/2" x 1/2" x 1/2" CUP ANCHORS @ 12" O.C. w/ 3/8" SCREWS ANCHOR TO FLOOR.
20. 1/2" x 1/2" x 1/2" CUP ANCHORS @ 12" O.C. w/ 3/8" SCREWS ANCHOR TO FLOOR.
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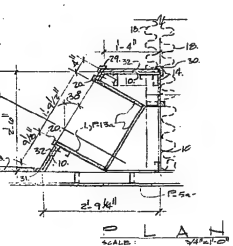
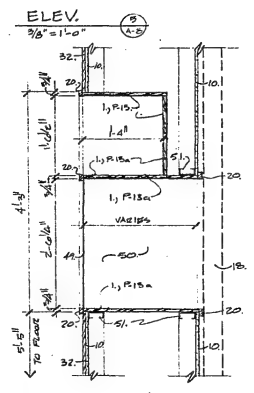
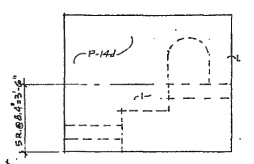
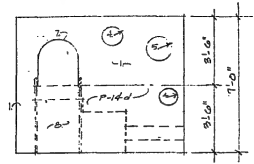
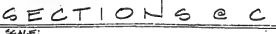
RECESSED PAY TELEPHONE CABINET
SCALE: 1/4" = 1'-0"



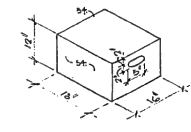
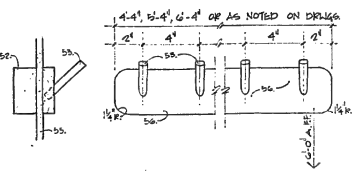
SECTION THRU TV MONITOR-SPEAKER SHELVES
SCALE: 3/8" = 1'-0"



SECTIONS @ COVE CORNER
SCALE: 1/4" = 1'-0"

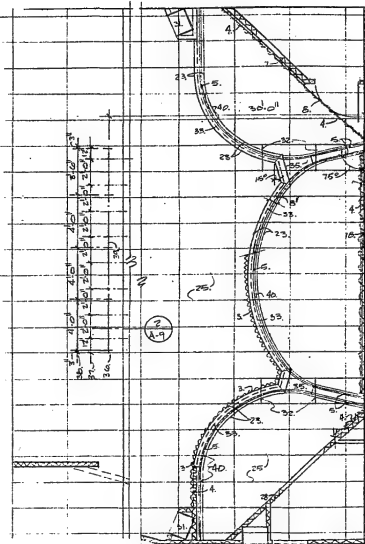


T.V. MONITOR SHELVES
(34)

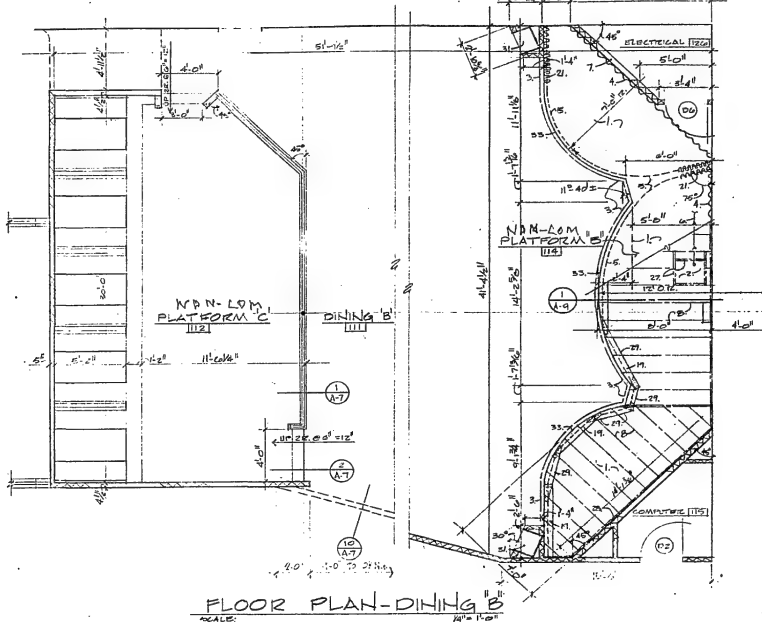


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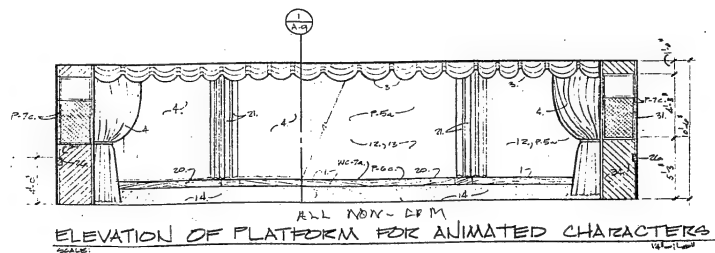
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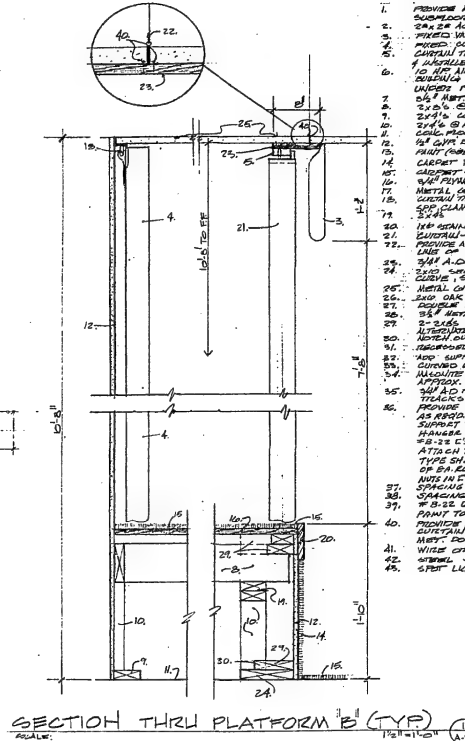
PARTIAL REFLECTED
CEILING PLAN
SCALE: 1/4" = 1'-0"



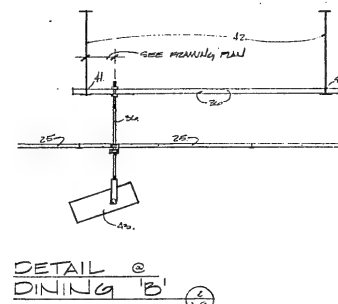
FLOOR PLAN-DINING 'B'
SCALE: 1/4" = 1'-0"



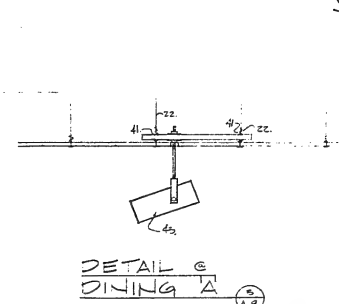
ELEVATION OF PLATFORM FOR ANIMATED CHARACTERS
SCALE: 1/4" = 1'-0"



SECTION THRU PLATFORM 'B' (TYP)
SCALE: 1/4" = 1'-0"



DETAIL @
DINING 'B'
SCALE: 1/4" = 1'-0"



DETAIL @
DINING 'A'
SCALE: 1/4" = 1'-0"

DETAILS OF HANGING SPOTLIGHT SUSPENSION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

1. PROVIDE A PLATFORM, 2" HIGH WOOD FRAME & FLOORING.
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Showbiz Pizza Place, Inc.
A Subsidiary of Truitt Management Inc.
200 WEST 10TH, TORONTO, ONTARIO M5T 1C1

UNIT NO.
AS
13



AS 2+L

FLOOR PLAN & ELEVATION
OF PLATFORM
FOR ANIMATED
CHARACTERS

DATE
1-27-80
REV. 2-1-80

ASSOCIATED
DESIGNERS &
ARCHITECTS

1000 W. 10TH AVE.
SUITE 100
DENVER, CO 80202
TEL (303) 733-1111

A9

SEP 81

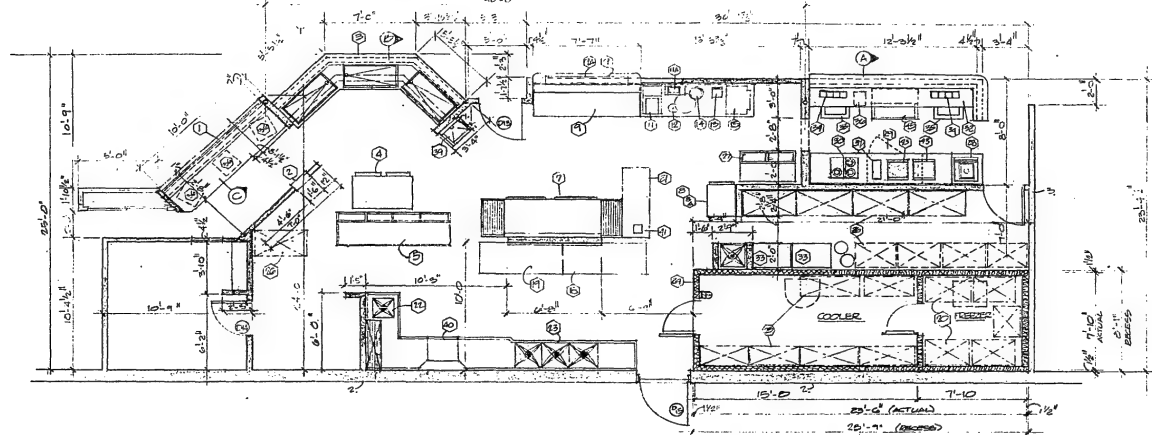
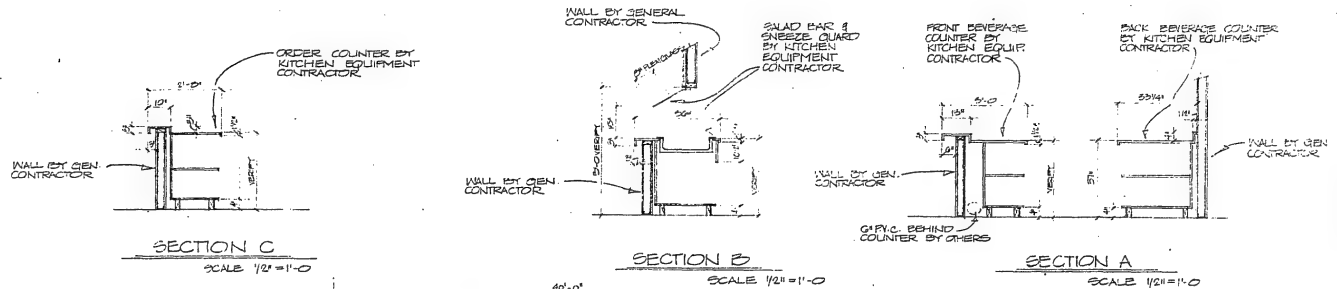
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DESIGNERS & ARCHITECTS, P.A.

EQUIPMENT SCHEDULE

ORDER WHEEL
FRONT THRU SHELF
SALES COUNTER
DISPENSING
PIZZA PREP TABLE
N/A
PIZZA OVEN
BRAST OVEN BY OTHERS
BAST OVEN ACCESSORIES BY OTHERS
PICK UP TABLE PORTABLE (WITH 1A)
STEEP HEATERS
PIZZA PREP TABLE
BUN TOASTER
BUTTER COLLIE
STEAMER
SCALE
ALI-JUS PIT
GLASS
GLASS NUMBER
N/A
12" HIGH TABLE
DINING TABLE
DINING RACKS
REMOVABLE TABLE
COUNTER W/ FREEZE SINK & OVER SHELF
POT & PAN SINK
WALK IN REFRIGERATOR/FREEZER
WALK IN SHELVING
STORAGE SHELVE
ICE MAKER
SOFT SERVE MACHINE
BACK BAR
COFFEE MAKER & COFFEE WARMER BY OWNER
ICE TEA DISPENSER BY OWNER
BEVERAGE COUNTER
DRINK DISPENSER BY OWNER
DRINK TOWERS BY OWNER
PORTABLE ICE BINS
CASH REGISTER
HOT OVEN MACHINE BY OTHERS
COTTON CANDY MACHINE BY OTHERS
HAND SINK
DISHWASHER (FUTURE-REMOVABLE COUNTER IN CONTRACT)
N/A
TRASH BINS
WINE DISPENSERS
N/A
GLASS CHILLER

CONSTRUCTION NOTES

1. ALL ANGLES SHOWN ARE 45°
2. EXTERIOR WALL CONSTRUCTION Varies (SEE SHEET A-1)
3. SEE FLOOR PLAN FOR ADJACENT ROOM LAYOUT



FLOOR PLAN
1/4" = 1'-0"

KITCHEN EQUIPMENT PLAN

GREENWOODS
1 SELECT PLAZA
LAURENS, SC 29553

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Showbiz Pizza Place, Inc.
A Subsidiary of Food Management Inc.
2000 WEST 9TH - TUCSON, ARIZONA 85711

UNIT NO.
S
13



A-1
KITCHEN EQUIPMENT
FLOOR PLAN

7-1-15-18
DATE NOV. 15, 1979
REV. 5-16-80
SCALE

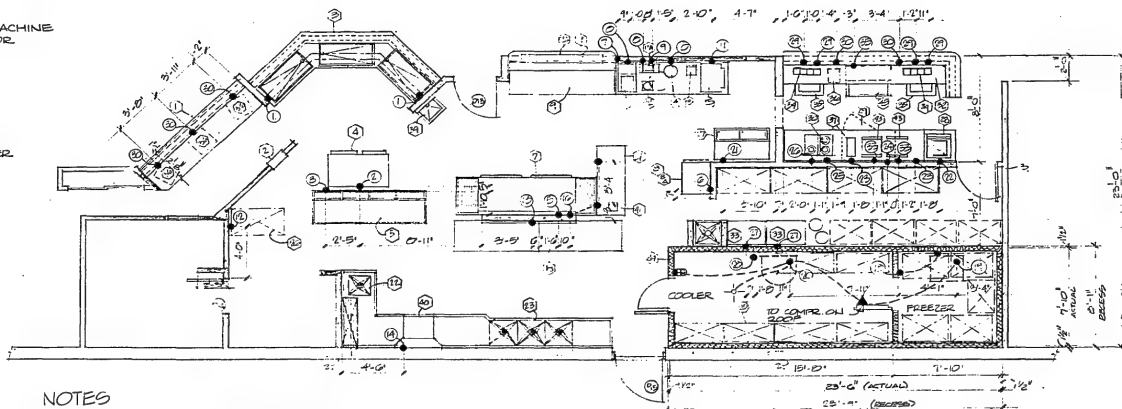
ASSOCIATED
DESIGNERS &
ARCHITECTS



SPR 91

ELECTRICAL SCHEDULE

1. FOR LIGHTS ABOVE SALAD BAR VERIFY WITH ELEC. CONTRACTOR. 2 PLACES
2. 120.60-1# 2.9 AMPS ECSR. STUD DOWN SNARE CORD & PLUG REFRIGERATOR (FUTURE BY ELEC. CONTRACTOR)
3. 120.60-1# 12.0 AMPS ECSR. STUD DOWN CORD & PLUG FOR PIZZA TABLE (FUTURE BY ELEC. CONTRACTOR)
4. N/A
5. 200.60-1# 20.0 AMPS WITH NEUTRAL E.S.C. AT 2' AFF FOR PIZZA OVEN
6. 200.60-1# 2.9 AMPS ECSR. AT 10' AFF FOR ROAST OVEN
7. 120.60-1# 5.0 AMPS EACH 2 PLACES E.S.C. ONE AT 2' AFF, ONE AT 2' AFF FOR HEAT STRIPS
8. 200.60-1# 15.0 AMPS ECSR. AT 40' AFF EACH 2 PLACES FOR TOASTER AND BUTTER ROLLER
9. 120.60-1# ON 20.0 AMP BREAKER E.S.C. AT 24' AFF FOR STEAMER
10. 200.60-1# 1.9 AMP E.S.C. AT 24' AFF SOUP WARMER
11. 120.60-1# 7.2 AMP ECSR. AT 44' AFF SNARE CORD & PLUG FOR SLICER
12. 120.60-1# 5.0 AMP ECSR. AT 24' AFF REFRIGERATOR FUTURE
13. 120.60-1# 5.0 AMP EACH ECSR. AT 40' AFF FOR CONVENIENCE
14. 200.60-5# 20.0 AMP E.S.C. AT 15' AFF FOR FUTURE DISHWASHER
15. N/A
16. 120.60-1# 5.0 AMP EACH STUD OUT OF WALL CHASE AT 2' AFF. ELEC. CONTRACTOR TO BRANCH TO DUPLEX OUTLETS IN TABLE 2 PLACES
17. N/A
18. 120.60-1# 0.0 AMP E.S.C. AT 0'-0" FOR WALK-IN FREEZER LIGHT & DOOR HEATER, ELEC. CONTR. TO BRANCH TO HEATER TAPE
19. 200.60-1# 7.2 AMP E.S.C. AT ROOF FOR WALK-IN FREEZER CONDENSING UNIT VERIFY LOCATION WITH REFRIG. CONTR. (ELEC. CONTR. TO RUN LINE FROM TIME CLOCK TO BLOWER COIL)
20. 120.60-1# 7.2 AMP E.S.C. AT 2'-0" AFF FOR WALK-IN COOLER LIGHTS, FAN, AND CONDENSING UNIT (ELEC. CONTR. TO RUN LINE FROM COIL TO COND UNIT) VERIFY LOCATION WITH REFRIG. CONTR.
21. 200.60-1# 5.0 AMP E.S.C. AT 2'-0" AFF FOR ICE MACHINE
22. 200.60-5# 7.4 AMP E.S.C. AT 24' AFF FOR SOFT SERVE MACHINE
23. 120.60-1# 5.0 AMP EACH ECSR. AT 40' AFF 2 PLACES FOR CONVENIENCE
24. 120.60-1# 7.4 AMP E.S.C. AT 24' AFF FOR UNDER COUNTER REFRIGERATOR
25. 120.60-1# 5.0 AMP ECSR. AT 40' AFF FOR COFFEE WARMER
26. 120.60-1# 15.0 AMP ECSR. AT 2'-0" AFF FOR COFFEE MAKER
27. 120.60-1# 50.0 AMP BREAKER EACH STUD DOWN 2 PLACES FOR SODA SYSTEM VERIFY WITH OWNER
28. 120.60-1# ON 30.0 AMP BREAKER E.S.C. STUD DOWN FOR AIR COMPRESSOR OF SODA SYSTEM ON ROOF OF WALK-IN COOLER. VERIFY WITH OWNER
29. 120.60-1# 5.0 AMPS EACH ECSR. AT 2'-0" AFF 4 PLACES FOR DRINK TOWERS VERIFY WITH OWNER
30. 120.60-1# 20.0 AMP ECSR. AT 20' AFF EACH 4 PLACES ALL CLEAN LINES, RECEPTACLE IN COUNTER TOP BY ELEC. CONTRACTOR
31. 120.60-1# 24.0 AMPS E.S.C. AT 24' AFF FOR FORGORN MACHINE VERIFY WITH OWNER
32. 120.60-1# 10.4 AMPS E.S.C. AT 24' AFF FOR COTTON CANDY MACHINE VERIFY WITH OWNER
33. 120.60-1# 0.5 AMPS ECSR. AT 40' AFF EACH 2 PLACES NINE DISPENSERS
34. N/A
35. 120.60-1# 7.2 AMPS ECSR. AT 20' AFF FOR GLASS CHILLER



NOTES

THIS ROUGH-IN INDICATES ONLY THE SERVICES REQUIRED FOR EQUIPMENT SUPPLIED BY GREENWOODS. FOR ANY ADDITIONAL SERVICES REQUIRED OR DESIRED, PLEASE REFER TO MECHANICAL DRAWINGS OR SEE OWNER.

ALL WORK TO BE DONE IN COMPLIANCE WITH NATIONAL, STATE, AND LOCAL CODES.

AFF MEANS ABOVE FINISHED FLOOR.
 E.S.C. MEANS ELECTRICAL SUPPLY CONNECTION.
 ECSR MEANS ELEC. CONN. DUPLEX RECEPTACLE.
 ECSR MEANS ELEC. CONN. SINGLE RECEPTACLE.
 DOTTED LINE INDICATES ELEC. LINES RUN IN CONDUIT BY ELEC. CONTRACTOR.

FLOOR PLAN

GREENWOODS
 1 SELECT PLAZA
 1001 10th CITY 100
 00000

THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF SHOWBIZ PIZZA PLACE, INC. AND ASSOCIATED DESIGNERS & ARCHITECTS, P.A.



Showbiz Pizza Place, Inc.
 A Subsidiary of Regatta Inc. Management Inc.
 2200 WEST 20th - TORONTO, ONTARIO M6H 1G1
 (416) 763-1111

UNIT NO.

13



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1001 10th CITY 100

00000

ASSOCIATED
 DESIGNERS &
 ARCHITECTS

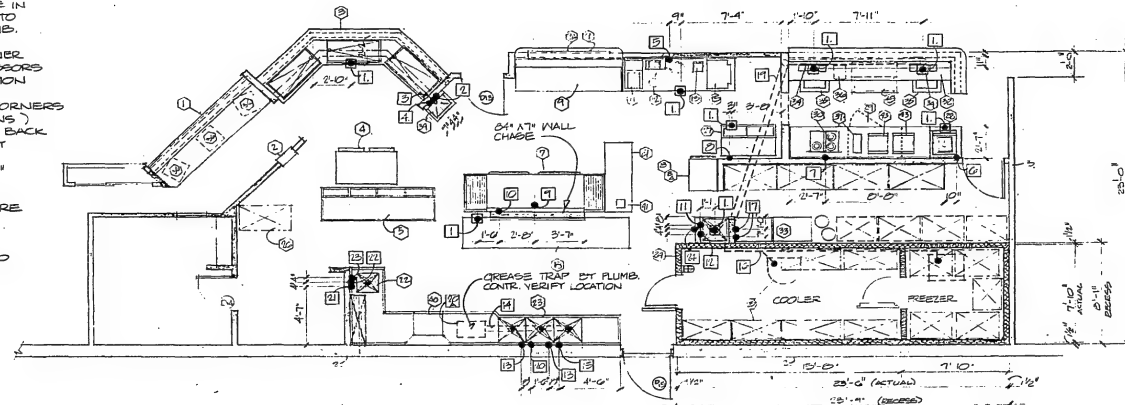
MISSION STATE
 1001 10th CITY 100
 00000

K2

SPR 91

MECHANICAL SCHEDULE

- 1 FLOOR DRAIN
- 2 1/2" COLD WATER AT 10" AFF FOR HAND SINK
- 3 1/2" WASTE AT 10" AFF FOR HAND SINK
- 4 1/2" HOT WATER AT 12" AFF FOR HAND SINK
- 5 1/2" HOT WATER AT 12" AFF FOR STEAMER
- 6 1/2" COLD WATER AT 4" AFF FOR SOFT SERVE MACHINE
- 7 3/4" COLD WATER AT 50" AFF FOR COFFEE MAKER
- 8 1/2" COLD WATER EACH 2 PLACES ONE AT 50" AFF ONE AT 54" AFF FOR ICE MACHINE
- 9 2 1/2" N.P.T. PIZZA OVEN FLUE VENT, GEN. CONTRACTOR TO EXTEND VENT TO WALL THEN IN WALL TO ROOF
- 10 1/2" GAS CONNECTION 200,000 BTU/HR. RUN LINE DOWN IN WALL CHASE TO 50" AFF FOR PIZZA OVEN
- 11 3/4" COLD WATER FOR JANITOR'S SINK AND HAND SINK (SEE DETAIL)
- 12 3/4" HOT WATER FOR JANITOR'S SINK AND HAND SINK (SEE DETAIL)
- 13 1/2" COLD WATER AT 14" AFF FOR POT SINK
- 14 MANIFOLD DRAINS TO RIGHT OF POT SINK AND RUN TO GREASE TRAP ALL BY PLUMB. CONTRACTOR
- 15 1/2" HOT WATER AT 14" AFF FOR POT SINK
- 16 DRAIN LINE FROM BLOWER COIL, WRAP WITH HEATER TAPE WHILE IN FREEZER, RUN THRU WALL OF WALK-IN & SEAL, THRU COOLER TO WALL OPPOSITE FLOOR DRAIN - THRU WALL & SEAL BY PLUMB. CONTRACTOR
- 17 1/2" COLD WATER AT 12" AFF FOR SODA SYSTEM VERIFY WITH OWNER. REMOTE REFRIGERATION LINES FROM BLOWER COILS TO COMPRESSORS ON ROOF ARE TO BE FURNISHED AND INSTALLED BY REFRIGERATION CONTRACTOR
- 18 SODA AND BEER LINES IN 3/4" R.V.C. WITH 10" OR 24" RADIUS CORNERS RUN AS SHOWN INSIDE WALL (FROM DRINK DISPENSING STATIONS) OVER CEILING DOWN INSIDE 7" WALL AND ACROSS FLOOR AT BACK OF BEVERAGE COUNTER BY MECHANICAL CONTRACTOR. VERIFY WITH OWNER.
- 19 3/4" HOT WATER 140° MIN. AT 14" AFF FOR POT SINK. PROVIDE "T" FOR BRANCH TO FUTURE DISHWASHER
- 20 1/2" HOT WATER AT 14" AFF FOR PRE-RINSE SINK 140° MIN. FUTURE
- 21 2" WASTE AT 10" AFF FOR PRE-RINSE SINK FUTURE
- 22 1/2" COLD WATER AT 14" AFF FOR PRE-RINSE SINK FUTURE
- 23 1/2" WASTE AT 10" AFF CAP FOR FUTURE HAND SINK
- 24 DRAIN LINE FOR FUTURE DISHWASHER TO RUN TO SINK MANIFOLD DRAIN "T" THEN DRAIN TO GREASE TRAP



FLOOR PLAN

THIS SKETCH INDICATES ONLY SERVICES REQUIRED FOR EQUIPMENT SUPPLIED BY GREENWOODS. FOR ADDITIONAL SERVICES REQUIRED OR DESIRED REFER TO MECHANICAL DRAWINGS OR SEE OWNER.

ALL WORK SHALL BE DONE IN COMPLIANCE WITH NATIONAL, STATE & LOCAL CODES. H.A.F.F. MEANS ABOVE FINISHED FLOOR.

GREENWOODS
SELECT PLUMBING
KANSAS CITY, MO 64103



Showbiz Pizza Place, Inc.
A Subsidiary of Regis Inc./Management Inc.
200 WEST 9TH - TULSA, OKLAHOMA 74103
Development of

UNIT NO.

S
13



A L

17-115-18

NOV 21 1979
REV. 1-7-80

ASSOCIATED
DESIGNERS &
ARCHITECTS

MISSION STATE
1000 JENNISON BL
TULSA, OKLAHOMA 74103
TEL 333-1331

K3

SPR 5/1

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HVAC EQUIPMENT SCHEDULE														COMMENTS
MARK	IDENTITY	COOLING SECTION (BASED ON 95° F DB, 80° F DB, 67° F WB)		CFM	AIR SIDE			NATURAL GAS HEATING		ELECTRICAL CHARACTERISTICS				
		TOTAL TON	SEAS. TON		ESP	BLOWER HP	INPUT	OUTPUT	V	B	Hz	FLA		
RTU-1	CARRIER 4800016	170.3	127.9	6000	0.9"	5	360	270	208	3	60	90.8	CURP MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE WITH BUILT-IN PRESSURE RELIEF; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN	
RTU-2	CARRIER 4800016	170.3	127.9	6000	0.9"	5	360	270	208	3	60	90.0	CURP MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE WITH BUILT-IN PRESSURE RELIEF; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN	
RTU-3	CARRIER 4800008	98.0	73.0	3100	0.7"	3	225	168	208	3	60	53.6	CURP MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN	

CURB MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE WITH BUILT-IN PRESSURE RELIEF; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN

CURB MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE WITH BUILT-IN PRESSURE RELIEF; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN

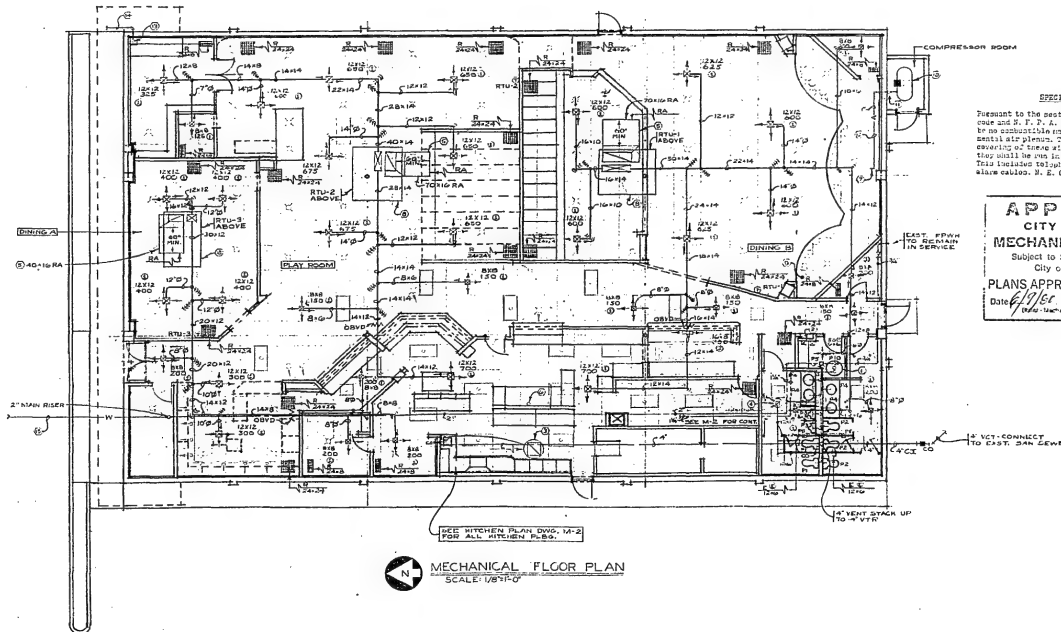
CURB MOUNTED; WITH 2 STAGE HEATING AND COOLING. HEATING/COOLING THERMOSTAT WITH AUTOMATIC CHANGEOVER AND LOCKING PLASTIC COVER; WITH ECONOMIZER CYCLE; FURNISH AND INSTALL SMOKE DETECTOR IN RA BOOT FOR BLOWER SHUTDOWN

GENERAL NOTES

- 1 ALL CEILING RA GRILLES SHALL BE 1/2" x 1/2" x 1/2" EGGCRATE WITH SIZE INDICATED.
- 2 ALL DUCT DIMENSIONS ARE FACE INTERNAL AREA.
- 3 SEE RISER DIAGRAMS FOR PIPE SIZES NOT INDICATED ON FLOOR PLANS
- 4 COORDINATE ALL HVAC INSTALLATIONS WITH STRUCTURE, PIPING, LIGHTING FIXTURES AND CEILING GRID.
- 5 INSTALL TURNING VANES IN ALL 90° DUCT ELBOWS.
- 6 SUPPORT ALL OVERHEAD SYSTEMS FROM ROOF STRUCTURE - DO NOT ATTACH TO CEILING.
- 7 MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES ON ALL ITEMS OF EQUIPMENT.
- 8 PIPE RTU-1, RTU-2, RTU-3 CONDENSATE DRAINS WITH FULL SIZE COPPER TO ADJACENT ROOF SURFACE.
- 9 SLEEVE AND VENT TO ATMOSPHERE ALL NATURAL GAS PIPING RUNS THROUGH CEILING CAVITY, IN PARTITIONS AND UNDER HARD SURFACED AREAS.
- 10 ABANDON EXISTING DOMESTIC WATER SERVICE, RECONNECT EXISTING LAWN SPRINKLER SYSTEMS FROM NEW SERVICE.
- 11 VERIFY LOCATION OF ALL EXISTING INSTALLATIONS IN THE FIELD.
- 12 VERIFY SERVICE POINTS AND METERING LOCATIONS WITH SERVING UTILITIES FOR PROJECT NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER.
- 13 REMOVE EXISTING HVAC UNITS AND RELATED DUCT SYSTEMS.
- 14 REMOVE EXISTING PLUMBING FIXTURES UNLESS NOTED OTHERWISE. CAP AND SEAL PIPING IN LOCATIONS CONCEALED BY FINISHED SURFACES.
- 15 SEE KITCHEN MECHANICAL PLAN DRAWING M-2 FOR ALL KITCHEN PLUMBING.
- 16 PROVIDE OPENINGS IN ALL PARTITIONS EXTENDING ABOVE FINISHED CEILING AS REQUIRED TO PROVIDE FREE FLOW OF RA TO ALL ROOFTOP UNITS.

MECHANICAL REFERENCE NOTES

- 1 JACKSON MODEL C80 301-75 DOMESTIC HOT WATER HEATER (75 GALLON STORAGE, 350 GPM RECOVERY AT 100° F RISE, 300 MBH NATURAL GAS INPUT). HEATER SHALL BE FURNISHED WITH 2" FIBERGLASS INSULATION, INSULATION ABOVE BOILER, DOTTED PORT BURNERS, DRAFT HOOD, WATTS TEMPERATURE AND PRESSURE RELIEF VALVE PIPED (COPPER) TO FLOOR DRAIN, GAS ACTIVATED STEP OPERING GAS VALVE WITH 100" SHUTOFF AND SAFETY PILOT, ECO, AND THERMOSTAT. EXTEND METALBESTOS 0" TYPE B, UL LABELED VENT UP FROM DRAFT HOOD TO APPROVED VENT TOP ABOVE ROOF IN FULL COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 2 FURNISH AND INSTALL TWO 14 x 14 COMBUSTION AIR DUCTS INTO WATER HEATER ROOF DOWN FROM 1/4" FISH SCREENED CONDENSATES ABOVE THE ROOF. TERMINATE ONE SUCH DUCT IN THE UPPER 12" OF THE ROOF AND THE OTHER 12" ABOVE FINISHED FLOOR PER CODE. SCREEN WITH 1/4" FISH.
- 3 FURNISH AND INSTALL LOREN COOK MODEL 180110 ROOF MOUNTED EXHAUSTER ON CURB ABOVE (14MM, 120V/180, 1300 RPM, 1800 CFM AT 3/4" ESP, WITH SOLID STATE SPEED CONTROLLER, ALUMINUM BIRDSCREEN, BACKDRAFT DAMPER, AND INTEGRAL DISCONNECT). INSTALL 24" x 24" TITUS MODEL 23-KLS EXHAUST REGISTER IN CEILING. EXTEND 20 x 20 DUCT FROM EXHAUSTER TO TRANSITION TO REGISTER.
- 4 FURNISH AND INSTALL LOREN COOK MODEL 121010 DIRECT CENTRIFUGAL ROOF EXHAUSTER ON ROOF CURB ABOVE WITH ALUMINUM BIRDSCREEN, BACK DRAFT DAMPER AND INTEGRAL DISCONNECT. (EXHAUSTER: 1/2" P.P.P., 1700/18, 370 CFM AT 1/2" ESP). PROVIDE ACoustICAL LINER ON ENTIRE TP EXHA SYSTEM.
- 5 ACoustically LINED RA BOOT IN CEILING CAVITY. AIR PLenum. PH. 1 TRANSITION TO UNIT NO CONNECTION.
- 6 INSTALL INCREASE ON 2 1/2" OPEN VENT AND EXTEND 3" SCHEDULE 40 BLACK IRON PIPE DIRECTLY UP (VERTICALLY) FROM OPEN THROUGH ROOF. 3" VENT PIPE SHALL BE JOCKETED WITH 5" METALBESTOS, TYPE B, DOUBLE-WALL, UL LABELED VENT PIPE. PROVIDE SPACERS AT BOTTOM FOR AIR FLOW. INSTALL METALBESTOS TOP FLASH AND COUNTERFLASH ROOF PENETRATION. MAINTAIN REQUIRED CLEARANCES.
- 7 PROVIDE SHUTOFF VALVE AT OUTLET. PROVIDE REDUCER AND 1/2" N.P.T. THREADED MALE CONNECTION FOR PIPING CONTINUATION BY SPP.
- 8 VERIFY RTU LOCATION WITH STRUCTURAL PRIOR TO CURB INSTALLATION.
- 9 REMOVE EXISTING PLUMBING FIXTURES. CAP PIPING IN CONCEALED LOCATION. VERIFY LOCATION.
- 10 FURNISH AND INSTALL AIR COMPRESSOR AND DRIER. SEE SPECIFICATIONS.
- 11 1" DROP WITH VALVED DRIP POCKET TO 1" RUN BENEATH STAGE.
- 12 COMPRESSED AIR PIPING. RUN BENEATH STAGE. SLOPE TO DRAIN TOWARDS COMPRESSOR ROOM.
- 13 3 1/2" MAIN GAS RISER UP TO ROOF. SEE DRAWING M-2.
- 14 INCOMING METERED NATURAL GAS SERVICE. SEE SITE PLAN.
- 15 NEW INCOMING METERED 2" DOMESTIC WATER SERVICE. SEE SITE PLAN.



SPECIAL NOTICE

Pursuant to the sections of the building code and S. F. P. A. fire codes, there shall be no combustible material in an environment air plenum. Therefore, unless the covering or lining atop is non-combustible, it may well be run in metal duct. This includes insulation, pipe and fire sleeve cables. S. F. C. 300-22.

APPROVED
CITY OF TAMPA
MECHANICAL BUREAU
Subject to Section 13A of the
City of Tampa Code
PLANS APPROVED AS MARKED
Date 11/16/81 By [Signature]

SHOWBIZ PIZZA PLACE

Showbiz Pizza Place, Inc.
A Subsidiary of Topgun Management Inc.
200 WEST 20th, Suite 200
Kansas City, MO 64108
Developed by

UNIT NO.
S
13

SHOWBIZ PIZZA PLACE

S/L

FLOOR PLAN

OR 79-115-10

DATE 5-15-80

SCALE

ASSOCIATED
DESIGNERS &
ARCHITECTS

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MECHANICAL SYSTEMS
ROBERT R. BAYLES & ASSOCIATES
Kansas City Missouri
Consulting Engineers

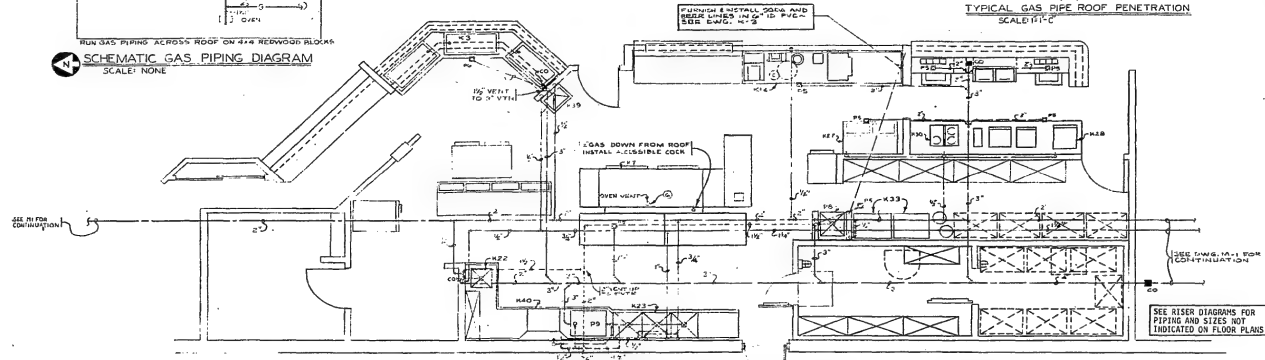
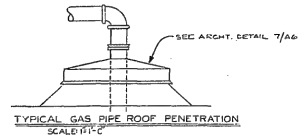
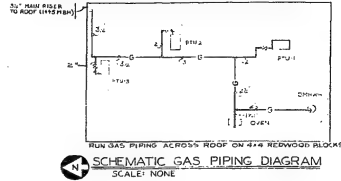
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SPP 071

MECHANICAL LEGEND

---	SOIL, WASTE OR LEADER PIPING BELOW GRADE AND/OR SLAB
---	SOIL, WASTE OR LEADER PIPING ABOVE GRADE AND/OR SLAB
---	SANITARY WASTE VENT PIPING
---	DOMESTIC COLD WATER PIPING
---	DOMESTIC HOT WATER PIPING
G	GAS PIPING
P2	PLUMBING FIXTURE MARK "P2" SEE SPECS.
→	PIPE TURNING DOWN
←	PIPE TURNING UP
○	GATE VALVE
○	GAS COCK
DSWH	DOMESTIC HOT WATER HEATER
①	MECHANICAL REFERENCE NOTE
VTR	VENT THRU ROOF
CD	CLEANOUT
U	UNION
FD	FLOOR DRAIN
GR	GAS PRESSURE REGULATOR
KB	REFERENCE TO KITCHEN EQUIPMENT ITEM - ITEM B INDICATED - REFER TO KITCHEN EQUIPMENT DRAWINGS
SA	SUPPLY AIR
RA	RETURN AIR
CA	COMBUSTION AIR
RTU-1	THERIOSTAT - ZONE CONTROL INDICATED
RTU-2	RETURN AIR GRILLE SIZE INDICATED
EXH	EXHAUST OR RETURN DUCT - UP OR IN
EXH	EXHAUST OR RETURN DUCT - DOWN OR AWAY
SA	SUPPLY AIR DUCT - UP OR IN
SA	SUPPLY AIR DUCT - DOWN OR AWAY
GR	REFERENCE MARK SEE "GRILLES, REGISTERS AND DIFFUSERS SCHEDULE"
GR	TURNING VAVES
GR	ADJUSTABLE VOLUMETRIC EXTRACTOR
GR	EXHAUST REGISTER - SIZE AND REFERENCE MARK INDICATED
GR	SUPPLY AIR DIFFUSER THRU DIRECTIONS, CFM, HECK SIZE AND REFERENCE MARK INDICATED

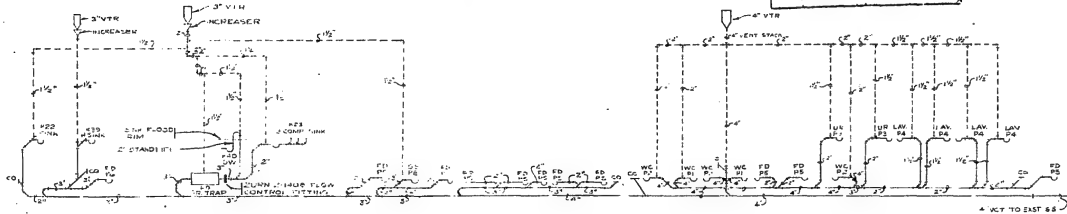
NOTE: GAS PIPING RUNS THROUGH CEILING CAVITY AND PARTITIONS MAY BE RUN UNCLEVED WITH SEAMLESS PIPE IF NO JOINTS OCCUR IN THESE AREAS AND ONLY IF SPECIFICALLY APPROVED BY THE LOCAL CODE AUTHORITY. A WELDED ELBOW MAY BE INSTALLED FOR THE PIZZA OVEN CONNECTION WITHOUT SLEEVING IN THE PARTITION AND CEILING CAVITY ONLY IF SPECIFICALLY APPROVED BY THE LOCAL CODE AUTHORITY.



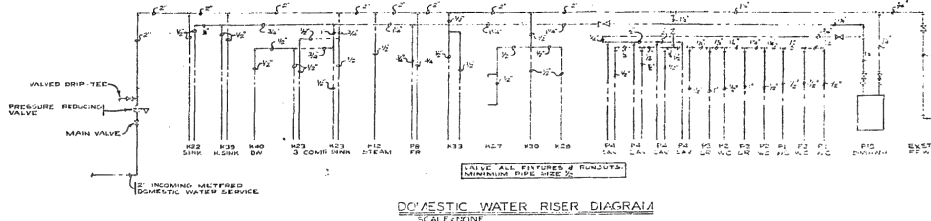
APPROVED
CITY OF TAMPA
MECHANICAL BUREAU
Subject to Section 13A of the
City of Tampa Code
PLANS APPROVED AS MARKED
Date 4/16/00 By [Signature]
[Signature] Mechanical Engineering Bureau

Comply with
MEPA 96
ref. 8/16/00 collection
B43898

GRILLES, REGISTERS & DIFFUSERS SCHEDULE					
MARK	IDENTITY	OVHD	FUNCTION	MOUNTING	THROW
①	LIMA SERIES 60	YES	SA	CEILING	4-WAY
②	LIMA SERIES 10T	YES	SA	CEILING	3-WAY
③	LIMA SERIES 100HV	YES	EXHAUST	CEILING	-



FIXTURE BRANCH SCHEDULE				
MARK	FIXTURE IDENTITY	WASTE	VENT	COLD
P1	WATER CLOSET (MEN)	4"	2"	1/2"
P2	WATER CLOSET (WOMEN)	4"	2"	1/2"
P3	URINAL	2"	1 1/2"	1"
P4	LAVATORY	1 1/2"	1 1/2"	1/2"
P5	FLOOR DRAIN	2"	-	-
P6	FLOOR DRAIN	3"	-	-
P7	UNASSIGNED	-	-	-
P8	FLOOR RECEPTOR	3"	1 1/2"	3/4"
P9	GREASE TRAP	3"	1 1/2"	-
P10	DSWH	-	-	-



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MECHANICAL SYSTEMS
ROBERT R. BAYLES & ASSOCIATES
KANSAS CITY, MISSOURI
2940 5-80



Showbiz Pizza Place, Inc.
A Subsidiary of Regal Inc. Management Inc.
200 WEST 10TH - TOWNA KANSAS 66101
Developer of:

UNIT NO.

AS
13



ASL

PLUMBING
& HVAC
SYSTEMS

7-11-19

5-19-50

34

ASSOCIATED
DESIGNERS &
ARCHITECTS

MISSION STATE
2011 JUNE 2011
2011 JUNE 2011
2011 JUNE 2011

M2

6PP.671

PROJECT MANUAL
FOR
SHOWBIZ PIZZA PLACE

OWNER: SHOWBIZ PIZZA PLACE
5201 W. 29TH STREET
TOPEKA, KANSAS 66611

ARCHITECTS: ASSOCIATED DESIGNERS & ARCHITECTS, P.A.
5201 JOHNSON DRIVE
MISSION, KANSAS 66205

FEBRUARY 1980

PROJECT MANUALS DATED PRIOR TO THIS DATE ARE OBSOLETE AND SHALL BE DESTROYED.

INDEX	TITLE
DIVISION 0	PROLOGUE AND CONTRACT REQUIREMENTS
DIVISION ONE	GENERAL REQUIREMENTS
DIVISION TWO	SITE WORK
DIVISION THREE	CONCRETE
DIVISION FOUR	MASONRY
DIVISION FIVE	PETALS
DIVISION SIX	WALL AND PLASTER
DIVISION SEVEN	THERMAL AND MOISTURE PROTECTION
DIVISION EIGHT	DOORS AND WINDOWS
DIVISION NINE	FINISHES
DIVISION TEN	SPECIALTIES
DIVISION ELEVEN	EQUIPMENT (RESERVED)
DIVISION TWELVE	FURNISHINGS
DIVISION THIRTEEN	(NOT USED)
DIVISION FOURTEEN	(NOT USED)
DIVISION FIFTEEN	MECHANICAL
DIVISION SIXTEEN	ELECTRICAL

DIVISION 0 - PROLOGUE AND CONTRACT REQUIREMENTS

- 0100 Pre-Bid Information
- A. Invitation to Bidders. Requirements for Pre-qualification, Instructions to Bidders, Bid Forms and Contract Forms (including bonds, certificates of insurance, etc.) will be issued by the Owner's representative for this project.
- 0200 Information available to the bidders
- A. Soil investigation data provided by the Owner is not a part of these contract documents. The Owner assumes no responsibility for the accuracy of such data.
- B. The bidders shall inspect all site conditions prior to submitting their proposal and no additional compensation shall be allowed for failure to fulfill this requirement.
- 0700 General Conditions of the Contract
- A. General Conditions of the contract for construction of this project shall be American Institute of Architects Document 200 (thirteenth edition, August 1976) considered contained herein and the modifications to the General Conditions included in Sub Division 0900 Supplementary Conditions of this project manual.
- 0900 Supplementary Conditions
- A. Supplementary general conditions and modifications to the General Conditions will be issued as a part of the bid documents for this project.

DIVISION ONE - GENERAL REQUIREMENTS

- 0100 Summary of the Work
- A. Work to be performed under this contract shall include all demolition, site work, facility construction, and improvements to the property designated in the Construction Documents. The intent of the Construction Contract is to provide a Showbiz Pizza Place facility complete in all respects with all work performed in a quality and workmanlike manner with the building ready for occupancy when construction is complete. Any exclusions from the contract for work by others or by the Owners shall be specifically noted in writing in the Contractor's proposal.
- 0101 Contract
- A. A single contract for all general construction, electrical construction and mechanical construction will be executed by the Owner with the General Contractor.
- B. The contract form will be provided by the Owner.
- 0102 Work by Others
- A. The following items are furnished by the Owner and installed as indicated. The General Contractor shall fully cooperate with all of the Owners, vendors and installers.
- | ITEM | FURNISHED BY | INSTALLED BY |
|---|---------------------|---------------------|
| 1. Animated Characters | Showbiz Pizza Place | Showbiz Pizza Place |
| 2. Banners | Showbiz Pizza Place | General Contractor |
| 3. Curtain, Swags, Valance
Powered Track, Traverse Rails,
Platforms "6" x "6" | Showbiz Pizza Place | General Contractor |
- PMS-1A

ITEM	FURNISHED BY	INSTALLED BY
4. Dummy Logo Signs Located as Indicated on the drawings.	Showbiz Pizza Place	General Contractor
5. New Board, Beverage Ind.	Showbiz Pizza Place	Showbiz Pizza Place
6. New Showing Board Carpet (wall & floor)	Showbiz Pizza Place	General Contractor
7. Store Fixtures	Showbiz Pizza Place	General Contractor
8. Mirror Wall Covering Dining Room "4"	Showbiz Pizza Place	Showbiz Pizza Place
9. Pleaglass Wall Panels Dining Room "4"	Showbiz Pizza Place	Showbiz Pizza Place
10. Slide for Kids Crawl	Showbiz Pizza Place	Showbiz Pizza Place
11. Booth Seating Dining Room "4"	Showbiz Pizza Place	Showbiz Pizza Place
12. Kitchen Equipment	Showbiz Pizza Place	Installed by Kitchen Equipment Supplier, Connected by General Contractor
13. Interior Signage	Showbiz Pizza Place	Showbiz Pizza Place

- B. General Contractor shall be responsible for removal of all packing material and construction trash generated by any of the above work.
- 0100 Coordination
- A. The General Contractor shall be responsible for coordinating all phases of the work.
- B. Each contractor shall execute all cutting and fitting of his work as may be required by other trades so as to insure a near perfect fit of materials as possible.
- 0100 Field Engineering
- A. The General Contractor shall, at his expense, employ such engineers and surveyors as may be required to insure that grade lines and levels indicated in the construction documents are properly located and constructed.
- 0100 Regulatory Requirements
- A. Laws and Ordinances. The Contractor(s) and all sub-Contractors shall comply in all respects with all laws and ordinances having jurisdiction over the work and/or materials or methods employed in performing same. No additional compensation shall be allowed for Contractors for failure to familiarize themselves with all conditions under which they will perform their work unless these conditions are brought to the Owner's attention prior to signing of contracts and provision for adjusting costs are made at that time.
- B. Permits, Bonds, Etc. The Contractor(s) shall take out and pay for all permits, bonds, etc. Should separate contracts be awarded, each Contractor shall be responsible for permits, fees, bonds, licenses, etc., as may be required by work covered under its portion of the contract. Receipts for same shall be turned over to the Owner upon completion.

- 0110 Payment
- A. Monthly progress payments will be made by the Owner in accordance with Section B16 of the General Conditions (AIA A-201) and Supplemental General Conditions issued as part of the bid documents.
- B. Where required, unit prices will be requested by the Owner and submitted by the General Contractor on the bid form.
- 0120 Project Meetings
- A. A pre-construction conference will be scheduled by the owners representative prior to the start of any work.
- B. At the pre-construction conference the Owner's representative will set the time for project progress meetings.
- 0130 Submittals
- A. Shop drawings and brochures shall be submitted to Associated Designers & Architects, 5201 Johnson Drive, Mission, Kansas 66201.
- All submittals shall have been reviewed by the General Contractor and so marked on each copy.
- A minimum of six copies of each submittal shall be forwarded to the Architect.
- B. All other schedules, reports and test data shall be submitted as required by the General Conditions (AIA A-201) and the following specifications.

- 0140 QUALITY CONTROL
- 0140 Testing Laboratory Services
- A. The Contractor will engage and pay for the services of an independent testing laboratory in conjunction with testing of concrete and asphaltic concrete.
- B. All tests called for in the Specifications shall be paid for by the Contractor.
- C. Reports of all tests performed by the testing laboratory shall be distributed as follows:
1. Architect - 1 copy.
 2. Project Representative - 1 copy.
 3. Contractor - 2 copies.
- 0141 Special Tests
- A. The Owner may on occasion request the Contractor to perform a special test on materials or equipment installed to verify conformance to the specification.
- The Owner will pay for all such tests if the materials or equipment meet or exceed specified requirements. However, if the items tested fail to meet these requirements then the Contractor shall pay all costs of such tests and shall rectify the deficiency at no cost to the Owner.
- 0150 CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS
- 0150 Temporary Utilities
- A. The General Contractor shall provide temporary water and electrical service to the job site and pay for same. The subcontractors on the job shall arrange with the General Contractor for the use of the facilities. The General Contractor shall provide any heating, cooling or temporary closing-in of the building which may be required. Cost of same will be paid by the Contractor.
- B. The General Contractor shall provide and pay for telephone service at the site. This phone shall be made available to all persons at the site.
- PMS-1B

- C. The Contractor shall pay for all utilities thru issuance of the Certificate of Substantial Completion by the Owner.
- 0150 Temporary Sanitary Facilities
- A. The General Contractor shall erect and maintain in a safe and sanitary condition a toilet facility for workers on the job. The toilet facility shall be in compliance with the requirement of the local health department.
- 0150 Construction Aids
- A. General Contractor shall be fully responsible for construction and maintenance of all temporary enclosures, staging, platforms, barricades, fences, sheet protection, etc., required by the work.
- B. General Contractor shall insure the project is secure and safe at all times.
- 0150 Project Identification and Signs
- A. The Owner will provide a project sign to be erected and maintained by the General Contractor.
- B. No other signs may be erected on the site without written permission from the Owner.
- 0150 Field Office
- A. The General Contractor shall provide and maintain at the site a lighted and heated, weather-tight field office.

- 0160 MATERIAL AID EQUIPMENT
- 0160 Substitutions and Product Options
- A. No substitutions shall be allowed without the specific written consent of the Owner. When the Contractor desires to make a substitution, he shall submit adequate information describing the alternate material in triplicate to the Owner.
- 0160 Starting, Testing, Adjusting, Balancing
- A. All systems within the project shall be started, tested, adjusted, balanced and certified as in compliance with the construction documents prior to acceptance of the project by the Owner.
- 0170 CONTRACT CLOSURE
- 0170 Cleaning
- A. At the completion of the construction and prior to final inspection, the General Contractor shall remove from the site all construction debris and trash, clean all glass area and leave the building clean and ready for use. The Contractor shall also remove from job site all crates, packing, debris, etc., from kitchen equipment.
- During the course of construction, the building and site shall be kept reasonably clear of trash and debris. The building interior shall be broom cleaned daily.
- 0170 Project Record Documents
- A. The Contractor shall mark in red on blue line prints all changes made during installation of all work to the original plans. He shall ascertain that information given is complete and correct to permit its transfer to the original drawings without additional interpretation.
- B. These "AS BUILT" drawings shall be delivered to the Project Representative at the Final Inspection.

- 0170 Operation and Maintenance Data
- A. The Contractor shall deliver all guarantees, as required elsewhere in this specification to the Project Representative at the Final Inspection.
- B. The Contractor shall guarantee in writing all materials and workmanship included in the construction documents for a period of one year from the date of final acceptance by the Owner. Final approval by the Owner's agents shall in no way relieve the Contractor of the responsibility to correct any defects in materials and/or workmanship which become evident within 12 months of the date of final acceptance. Any additional work required under this section shall be performed at no additional cost to the Owner.
- 0170 Spare Parts and Maintenance Materials
- A. The Contractor shall deliver all spare parts and maintenance materials as required elsewhere in this specification to the Project Representative at the Final Inspection.

DIVISION TWO - SITE WORK

- 0200 Selective Demolition
- A. Where indicated on the drawings remove existing partitions, electrical devices, mechanical devices, plumbing devices, etc.
- B. Remove all debris created by this work and restore all adjacent construction.
- 0250 PAVING AND SURFACING
- 0251 Asphaltic Concrete Paving
- A. Topping
1. When called for on construction documents, Topping course shall consist of plant mixed asphalt surface course. Topping shall be applied over clean and graded surface. Topping shall be applied at a thickness of one-quarter inch in ten feet. Topping shall be bonded to the original paving with asphalt primer/bonding applied in strict accordance with the Manufacturer's instructions.
 2. Replace all paving where utility trenches are located. Paving shall be equal to thickness of existing paving. All backfill shall be compacted prior to repaving.
- 0260 Site Utilities
- A. Service connections shall be provided to the building. Properly sized and located water, sewer, gas, and telephone lines shall be provided as indicated on the site plan and diagrammed on the building plans.
- Trenches and excavations for sanitary pipe, gas lines, underground electrical conduct and water lines shall be backfilled with yellow sand or back run gravel compacted to a maximum of 95 standard Proctor test.

DIVISION THREE - CONCRETE

- 0300 CONCRETE PROCEDURES
- 0301 Cold Weather Concrete Procedures
- A. Adequate equipment shall be provided for heating the concrete materials and protecting the concrete during freezing or near-freezing weather. No frozen materials or materials containing ice shall be used, and any materials with which the concrete is to come in contact shall be free from frost.
- B. At air temperatures below 40 degrees F, concrete shall be heated.
- C. When freezing temperatures may be expected during the curing period, suitable and adequate means and facilities shall be provided for maintaining the concrete surface of Type I cement at temperatures of not less than 50 degrees F. for five days or 70 degrees F. for three days, and for Type 3 (High Early Strength) concrete at 50 degrees for three days or 70 degrees for two days.
- D. Exposed newly constructed flat work shall be covered and protected from exposure to rain, sleet and ice for extended periods of time in cold weather.
- 0302 Hot Weather Concrete Procedures
- A. Concrete placing and finishing operations during hot weather shall be done as quickly as possible. Adequate personnel shall be available to handle and place the concrete immediately after its mixing or delivery to site of the work. Concrete shall be placed in layers thin enough and over areas shallow enough to insure complete bond and union of adjacent layers and thus prevent "cold joints".
- B. In no case shall the temperature of the concrete exceed 90 degrees F. when placed in the work.
- C. Forms, reinforcements, and subgrade surfaces shall be wet down immediately before concrete is placed in contact therewith.
- D. In extremely hot, windy weather (temperatures over 90 degrees F.) sunshades, windbreakers and/or fan nozzles may be required during flat slab finishing operations. If in the Owner's opinion adequate hot weather precautions are not being observed, concreting operations shall be suspended.

- 0310 Concrete Form Work
- A. All form work to conform with A. C. I. 307.
- 0320 Concrete Reinforcement
- A. Reinforcing steel #6 and larger shall conform to ASTM 615 Gr. 60; #5 and smaller shall conform to ASTM 615 Gr. 60. All to be new billet steel.
- 0320 Welded Wire Fabric
- A. Welded steel ASTM A195.
- 0321 Miscellaneous
- A. Tie Wire-PS 50-4-461-6, latest edition, annealed, 1/4" x 1/4" x 16 ga. minimum.

- 0320 CONCRETE ACCESSORIES
- 0321 Concrete and Control Joints
- A. In such locations as are shown on the drawings, construction joints will be required. All construction joints shall be keyed and have reinforcing steel extended through the joints.
- B. Slab pours shall not exceed 5000 square feet or be greater than seventy-five (75) feet on any side, unless otherwise directed.

- 0322 Polts, Anchors and Inserts
- A. Provisions shall be made in form work for every class of bolts, anchors, and inserts required to be placed in concrete.
- B. Unsealed openings through concrete walls, slabs, etc., for ducts or piping shall be provided by the General Contractor in locations as directed by mechanical contractors.
- C. All steels for mechanical and electrical work shall be furnished and set by the mechanical and electrical contractors, respectively, but the contractor for the concrete work shall allow ample time for their installation and shall be responsible for protecting and properly embedding such work.

- 0330 Cast-In-Place Concrete
- A. Scope
1. The work included in this section consists of furnishing all materials, and equipment and performing all work necessary to complete all concrete and cement work shown on the drawings, specified herein, or necessary to the completed project.
 2. Examine all architectural, structural, mechanical and electrical drawings, note any conditions that affect pour-in-place concrete work, and include these conditions as a part of the work required under this Division.
 3. Materials
 4. Portland Cement shall conform to ASTM C-150 Type 1, or Type 2, or, if High Early Strength Portland Cement is used, it shall conform to ASTM C-150 Type 3.
 5. Aggregate shall conform to ASTM C-33 specifications.
 6. Contractor shall be held responsible to assure that sand for concrete for exposed flat work to be free of shale or flint, shale or flint spots will not be tolerated and shall be cause for replacement of affected work.
 7. Expansion joint materials shall consist of preformed asphalt impregnated or flexible foam type non-structural expansion joints. Materials for use with joints to be caulked shall be non-asphaltic.
 8. Sealer
 9. (a) Interior floor sealer shall be Master Builders "Masterseal", "Best Chemical Products", "Concrete Floor Treatment", ProSeal Inc. "P-5-5", Chlorinated Rubber Concrete Treatment, or A. C. I. Form Co. "Clear Seal". Sealer must be of a type to which Vinyl Asbestos tile can be adhered.
 10. (b) Exterior flatwork floor sealers shall be ProSeal, Inc.'s "Sure Seal" or "Seal-It" with 25% acrylic.
 11. Floor hardener shall be L. S. Neumeier Sons, Inc. "Lapidolith" or A. C. I. Form Company's "Dornolith".

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Showbiz Pizza Place Inc.
A Subsidiary of Truitt Inc. Management Inc.
200 WEST 9th - TOPEKA, KANSAS 66611
Telephone 816-233-1111

UNIT NO.
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C. Concrete

1. Concrete mixes will be designed, based upon materials delivered for use in the project, by the Testing Agency, and approved by the Architect in accordance with the following mix design of the Midwest Concrete Industry Board, Inc.

Concrete for footings, foundation walls, and interior floors.....Type One

Yielding at 28 day minimum compressive strength at 3000 p.s.i.

Concrete for exterior walls and other exterior work.....Type One A (Air Entrained)

Yielding at 28 day minimum compressive strength at 3000 p.s.i.

2. No admixture shall be used without specific approval of the Architect or as specified herein.

3. Slump shall not exceed 3" to 5" (ASTM C-143).

D. Admixtures

1. An air entraining agent shall be added to the mix for concrete used in exterior steps, walls, curbs, and exterior steps. In an amount such as will assure an air entrainment of six (6) percent. Concrete that varies more than one (1) percent, plus or minus shall not be accepted. Admixture shall be placed in liquid form in the water at the mixer.

2. Water reducing and retarding admixtures shall not be used without approval of the Architect.

3. Calcium chloride or other accelerating admixtures containing calcium chloride shall not be approved.

E. Batching and Mixing

1. Mixer shall conform to mixer standards of Truck Mixer Manufacturer's Bureau and shall be equipped with required features.

2. Mixing time shall start after all ingredients are in the mixer exclusive of extra water.

3. Concrete shall be delivered at such a rate as will assure prompt discharge upon truck arrival.

4. Drivers shall not add water to the mix except as directed by the Architect or Contractor's project superintendent.

F. Placing Concrete

1. General

(a) Preparation of equipment and forms, mixing, conveying, and depositing of concrete shall conform in all applicable respects to the requirements of the Midwest Concrete Industry Board, Inc.

(b) Concrete shall not be placed at any time except under the direct supervision of the Contractor's project superintendent.

(c) All concrete shall be placed in the forms within one and one-half hours after the water is added to the mixture.

2. Removal of Forms

1. In no case shall forms be removed earlier than five (5) days.

II. Curing

1. All concrete shall be protected from drying prematurely and freshly placed concrete shall be protected from wash or damage by rain.

2. Concrete surrounded by forms shall be kept damp by sprinkling forms or by other approved means for a period of at least five (5) days.

3. As soon as practicable after finishing exterior concrete work on ground, the surfaces shall be covered with a spray coating of curing liquid specified. Material shall be applied with low pressure sprayer covering a maximum of three hundred (300) square feet per gallon.

1. Monolithic Finish Floors

1. Where schedule does not indicate otherwise, concrete shall be brought to an even level as soon after strike-off as is practical using long handled paddles or darbies. Check surface with ten foot (10') straight edge to assure a reasonably level surface before troweling. Refloat as necessary. After surface water has disappeared the first troweling shall be done with a hand float and steel trowel operation. Second troweling operation shall be by mechanical troweling machine (except where impractical) followed by hand troweling to remove minor imperfections. If the concrete has not taken a uniform set additional troweling will be necessary. Surfaces which are not to receive floor covering shall receive a third troweling to assure a dense, smooth surface. See paragraph "LEVELING FINISHED FLOORS" of this section.

2. Concrete shall be finished without addition of water, dry cement or dry cement and sand.

3. All exterior platforms, steps, or stoops shall be monolithic finished with a broomed finish after the second steel troweling. Edging and jointing tools shall be used after the brooming. No dry mixing shall be used on exterior surfaces.

4. Provide non-slip finish to exterior concrete ramps, trends and concrete entrance platforms with a slope greater than 1/4" per foot by applying one-quarter (1/4) pound of "Aluminum Oxide" per square foot of surface as manufactured by the Huron Company. Work material into the surface.

J. Treatment of Exposed Surfaces

1. Any joints, voids, or stone pockets shall be patched upon removal of the forms in a manner satisfactory to the Architect. However, the Contractor shall assume full responsibility for their soundness.

K. Hardener

1. All exposed concrete finish floors shall be treated with applications of hardener, applied in accordance with manufacturer's published specifications.

L. Levelling Finished Floors

1. If, in the opinion of the Architect, any of the finished floors (especially at construction joints) are not in condition to receive floor covering, the contractor shall grind, or apply an approved underlayment over all areas required to obtain a smooth, level surface.

2. Floors shall be leveled to within a tolerance of 1/4" in a ten (10') foot radius and also a maximum cumulative tolerance of 1/4".

H. Concrete Walls

1. Sidelwalk shall be laid out in accordance with the drawings, creating the patterns indicated.

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2. Sidelwalks shall be poured on firm, slightly damp undisturbed bearing, brought to proper grades.

3. Walls shall have a cross pitch of one-quarter (1/4)" inch per foot, unless otherwise shown.

4. Sidelwalks shall have a fine brown finish. Edging and jointing tools shall be used after brooming.

5. Provide one-half (1/2)" inch expansion joints at intervals of not more than thirty feet (30') and at building. 10131 dam material one inch (1") for joint caulking as specified in Section "CAULKING".

6. Provide dummy joints one and one-half (1-1/2)" inches deep at intervals of approximately five feet (5') unless otherwise shown. All edges and all joints shall have edges rounded with 1/4" radius.

N. Control Tests for Concrete

1. Testing Laboratory

The Contractor will retain the services of a testing laboratory approved by the Architect and pay all costs to make samples and take tests. Reports of tests shall be sent directly to the Architect.

(a) Test to conform to ASTM 318-63.

(b) Slump test, ASTM C-143, shall be taken as often as required to provide the specified consistent concrete.

(c) Determine air content with every set of cylinders, ASTM C-231, or as required.

(d) The Contractor shall be responsible for informing the Test Laboratory in advance of each pour.

2. Extent of Tests

For each class of concrete the Contractor or the testing laboratory will make the following number of tests:

(a) One (1) test for each thirty (30) cubic yards of fresh concrete or fraction thereof placed in the project.

(b) Not less than one (1) test for each day's concreting.

3. Enforcement of Strength Requirements

In the event the test program indicates non-compliance with the specifications, the Contractor shall remove and replace the structure at his own expense.

DIVISION FOUR - MASONRY

01100 MORTAR

A. Portland Cement: Conforming to ASTM C-150, Type I or II.

B. Sand: Contain no foreign matter nor mudballs, with gradation conforming to ASTM C-144.

C. Lime: Conforming to ASTM C-207 (hydrated), Type "S".

D. Water: Potable and free from large amounts of acids, alkalis or organic materials.

E. Mixing

1. Provide masonry mortar mix meeting requirements of ASTM 270-71 for Type S Mortar.

2. Machine mix all mortar until all ingredients are uniformly distributed throughout the mixture. Measure hydrated lime used shall be as approved brand, placed in accordance with manufacturer's directions and a mortar as lime putty. Rock lines used shall be of an approved brand and shall not less than three weeks before being used. The shall comply with requirements of the ASTM for structural purpose lime and shall be used in accordance with directions of lime manufacturer. Sand shall be sharp, clean, washed sand, all of which passes a No. 8 sieve, not more than 20 percent passing a No. 50 sieve or more than 5 percent passing a No. 100 sieve. The water shall be the minimum that will give a workable mixture.

01150 Masonry Accessories

A. Joint Reinforcement:

1. Truss type with 9 gauge galvanized steel rods and cross rods. Width: 2 inches less than nominal thickness of wall.

2. Manufacturers:

(a) Standard type by Bur-D-Ball Products.

(b) Truss-Web Standard by Homan and Bernard, Inc.

3. Execution

(a) Install wall reinforcement in every other block course. Lap all corners and splices 2 feet.

(b) Add an additional reinforcement course above and below all wall openings. Local reinforcement shall be placed in reinforcement arrangement. Extend 2 feet beyond each side of opening.

01200 Unit Masonry

DIVISION Concrete Masonry Units

A. Hollow Load Bearing Units

1. ASTM C90-75, Type I, Grade II.

2. Nominal Face Dimensions: 8 inches x 16 inches.

B. Hollow Nonload-Bearing Units

1. ASTM C129-75, Type I

2. Nominal Face Dimensions: 8 inches x 16 inches.

C. Curing

Block shall meet standards of .05" maximum linear shrinkage upon tested in accordance with present Bureau of Standards methods.

D. Execution

1. Lay only dry masonry units.

2. Use masonry saw to cut and fit units.

3. Bond: Running bond with vertical joints located at center of masonry units in alternate course bond.

PMS-2B

4. Set units plumb, true to line, and with level courses accurately spaced. Saw cut units to fit under beams or slabs.

5. Adjust masonry unit to final position while mortar is soft and plastic.

6. If units are displaced after mortar has stiffened, remove, clean joints and units of mortar and relay with fresh mortar.

7. Cold weather restrictions when mean daily temperature is below 40 degrees F.; minimum temperature of masonry unit when laid: 30 degrees F.

8. When laying fresh masonry to set or partially set masonry construction, clean exposed surface of set masonry and remove loose mortar prior to laying fresh masonry.

9. If necessary to stop off a horizontally run of masonry, rack back one-half block length in each course.

10. Do not use toothing to join new masonry to set or partially set masonry when continuing a horizontal run.

E. Protection of Work

1. Remove misplaced mortar or grout immediately.

2. Cover top of walls with non-staining waterproof coverings when work is not in progress.

F. Mortar Joints

1. Hollow Units

(a) Lay with full mortar coverage on horizontal and vertical face shells.

(b) Provide full mortar coverage on horizontal and vertical face shells and webs in all courses of following:

(1) Starting course.

(2) Where adjacent to cells or cavities to be filled with grout.

2. Solid Units: Lay with full mortar coverage on horizontal and vertical joints.

G. Joints

1. Horizontal and Vertical Face Joints

(a) Nominal thickness: 3/8 inch

(b) Construct uniform joints.

(c) Show vertical joints tight

(d) Tool joints in exposed or to be painted surfaces when thumb print hard with concave jointer.

(e) Fill horizontal joints with mortar between top of masonry partitions and underside of concrete slabs or beams.

H. Built-In Work

1. Avoid cutting and patching.

2. Install bolts, anchors, nailing blocks, inserts, frames, vents, flashing, conduit and other built-in items as masonry work progresses.

3. Solidify grout spaces around built-in items.

I. Pointing and Cleaning

1. At final completion of unit masonry work fill holes in joints and tool.

2. Dry brush masonry surface after mortar has set, at end of each day's work and after final pointing.

3. Leave work and surrounding surfaces clean and free of mortar spots and droppings.

DIVISION FIVE - DETAILS

01300 Structural Steel

A. Scope

1. The work included in this section consists of furnishing all plant, materials, equipment and performing all work necessary to construct and complete all structural steel shown on the drawing or specified.

2. This work shall include all beams and other framing members together with their details, welds and connections.

B. Materials

1. All material for this work shall be new structural steel conforming to the Standard Specifications of the American Society for Testing Materials for Steel Bridges and Buildings, Serial Specification 516, as amended to date.

2. Structural steel members include frames for mechanical equipment in existing structure and all miscellaneous items required by the drawings.

C. Delivery of Material

1. All structural steel shall receive one shop coat of Red-Oxide Primer, meeting Federal Specifications TSP-436. Mill scale shall be removed prior to application of primer.

D. Welding

1. All shop welds shall be made only by welders previously qualified by tests as prescribed by the Standard Code for Arc and Gas Welding of the American Welding Society.

F. Workmanship and Erection

1. The field workmanship shall be accurate and to detail and shall conform to the latest specification for the fabrication and erection of structural steel of the American Institute of Steel Construction. Welding shall conform to the requirements of the American Welding Society for electric arc welding. Detail dimensions shall be coordinated with other contractors work.

05100 Cold Formed Metal Framing

A. Refer to Division Nine for Specifications of Interior Metal Stud Walls.

05500 Metal Fabrications

A. General Materials

1. Cast iron shall be soft gray iron.

2. Malleable iron shall be fully annealed of uniform ductile structure throughout.

3. Steel shall conform to ASTM Specifications A-36 for structural steel and A-27-56 for cast steel, architectural and miscellaneous steel not otherwise indicated or specified shall be mild steel.

B. Equipment Support System

1. Where indicated on the drawings furnish and install cold rolled channel support system equal to B-Line Systems Series R22 with standard finish

2. All required accessories shall be produced by the same manufacturer.

DIVISION SIX - 1000 AND PLASTICS

06100 Rough Carpentry

A. Lumber Grading Rules and Flood Species to be in conformance with Voluntary Product PS 20-70. Grading rules of the following associations apply to materials furnished under this section:

1. Southern Pine Inspection Bureau (SPIB).

2. West Coast Lumber Inspection Bureau (WCLIB).

B. Grade Marks: Identify all lumber by official grade mark.

1. Lumber: Grade stamp to contain symbol of grading agency, mill number or name, grade of lumber, species or species grouping or combination designation, rules under which graded, where applicable and condition of seasoning at time of manufacture.

(a) S-Dry: Unseasoned.

(b) S-Dry: Maximum 19% moisture content.

(c) MC-15 or MC: Maximum of 15% moisture content.

(d) Dense.

C. Testing: ASTM E 84-70, maximum 25 flame spread rating and smoke developed rating of 50 or less.

D. Requirements of Regulatory Agencies:

1. Fire Hazard Classification: Underwriters Laboratories, Inc. for treated lumber.

2. Preservative Treated Lumber and Plywood: American Wood Preservers Bureau, Quality Mark.

E. Certification

1. Pressure Treated Wood: Submit certification by treating plant stating chemicals and process used, net amount of salts retained and conformance with applicable standards.

2. Preservation Treated Wood: Submit certification for water-borne preservative that moisture content was reduced by 10% maximum, after treatment.

3. Fire-Retardant Treatment: Submit certification by treating plant that fire-retardant treatment material comply with governing ordinances and that treatment will not bleed through finished surfaces.

F. Product Delivery, Storage and Handling

1. Immediately upon delivery to job site, place materials in area protected from weather.

2. Store materials minimum of 6 inches above ground on framework or blocking and cover with protective waterproof covering providing for adequate air circulation or ventilation.

3. Do not store seasoned materials in wet or damp portions of building.

4. Protect fire-retardant materials against high humidity and moisture during storage and erection.

5. Protect sheet materials from corners breaking and damaging surfaces, while unloading.

G. Materials:

1. Lumber

(a) Dimensions

(1) Specified lumber dimensions are nominal.

(2) Actual dimensions conform to industry standards established by American Lumber Standards Council and rules relating agencies.

(3) Moisture Content: Unseasoned of 19% maximum at time of permanent closing in of building or structure, for lumber 2 inches or less nominal thickness.

(c) Surfacing: Surface four sides (S4S), unless specified otherwise.

2. Fire-Retardant Treated Products

(a) Lumber: ASTM C20-70

3. Preservative Treated Wood Products

(a) Waterborne salt preservatives for painted, stained, or exposed natural wood product:

(1) ANPP LP-2, above ground application

(2) ANPP LP-22, ground contact application.

(3) Lumber referred to maximum moisture content of 19% stamped "19"

06113 Gypsum Sheathing

A. General

Extent of work: Sheathing of metal stud wall.

B. Products

1. Gypsum: 1/2" x 4' x 8' Gypsum Sheathing, glass fiber reinforced core protected by water repellent paper cover meeting requirements of ASTM C75-67 except thickness as specified. Bestwall, U.S.G. or equal.

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Showbiz Pizza Place, Inc.
A subsidiary of Regis Inc.
300 WEST 99th STREET, KANSAS CITY, MO 64111
Telephone 816-438-9878

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ASSOCIATED
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ARCHITECTS

DESIGN STATE
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KANSAS CITY, MO

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2. Screws
(a) 1" Long Bugle Head Type "S" meeting requirements of ASTM C646-76A for sheathing.
C. Execution
1. Apply sheathing with long dimension across support, groove edge down.
2. Stagger end joints in successive courses and center joints over framing members. Fit tightly against adjacent panels and snugly around door opening.
3. Sheathing shall be secured to metal studs with screws spaced 4" o.c. along edges, 8" o.c. between edges, 4 inches minimum per 2 ft. width. Adjust power screwdriver to set heads lightly to the sheathing face without cutting the face paper. Screws shall be no less than 3/8" for ends and edges of the sheathing.
06200 Finish Carpentry
A. Quality Assurance
1. Submit four (4) copies of drawings of all cabinework and millwork to owner for approval prior to installation.
2. Woodwork shall comply with Architectural Woodwork Institute (AWI) "Quality Standards" except where otherwise noted.
3. Finish woodwork materials shall be kiln dried to the following moisture content unless otherwise recommended in the applicable "Quality Standards" for regional climatic conditions:
Interior Woodwork - 6% to 11%
Exterior Woodwork - 6% to 12%
B. Materials
1. All woods referred to on drawings or in these specifications are to be the best of their respective kinds, selected quality, free from all blemishes.
2. White Pine shall be clear white pine, free from all blue sap and discoloration. "Yellow Pine" will not be acceptable for millwork.
3. Beech, Oak, and Birch to be Grade "A" material.
4. Plain smooth hardwood shall be tempered in accordance with Commercial Standard C-291, factory prime coated.
5. Laminated plastic surfacing to be "Formica", or equal. Comply with requirements of "Publication No. LH" by the National Electrical Manufacturers' Association (NEMA) for the following:
Horizontal Surfaces: NEMA General-Purpose Type, nominal 0.008" thickness
Post-formed Surfaces: NEMA Post-forming Type, nominal 0.008" thickness
Vertical Surfaces: NEMA Vertical-Surface Type, nominal 0.008" thickness
Surface Finishes: Provide plastic laminate of the color, texture and pattern as selected.
6. Paneling to be Hixsonite BHF-X-11 or X-90 as indicated on the room finish schedule.
7. Grille Fabric
(a) Grille fabric indicated in Dining Room "B" shall be "Wellstone" PP, flame-resistant fabric. Style and color = BF 6005.
C. Field Measurements
1. All dimensions affecting prefabricated millwork and casework items shall be field verified prior to fabrication.
D. Product Delivery, Storage and Handling
1. Protect woodwork during transit, delivery, storage and handling to prevent damage, soiling and deterioration.
Do not deliver woodwork until painting, wet work, grinding and similar operations which could damage, soil or deteriorate woodwork have been completed in installation areas. If, due to unforeseen circumstances, woodwork must be stored in other areas, store only in areas which meet the requirements specified for installation areas.
E. Job Conditions
1. The installer must examine the substrate and the conditions under which the work under this section is to be performed, and notify the Contractor in writing of any unsatisfactory conditions. Do not proceed with work under this section until unsatisfactory conditions have been corrected in a manner acceptable to the installer.
2. Advise Contractor of temperature and humidity requirements for woodwork installation area. Do not install woodwork until the required temperature and relative humidity have been stabilized in installation areas.
3. Maintain temperature and relative humidity as required for a tolerance of plus or minus 1.0 of the specified optimum moisture content until woodwork receives specified finishes. Maintain temperature and humidity conditions until acceptance of the work by the Owner.
4. Protect installed woodwork from damage by other trades until Owner's acceptance of the work. Advise Contractor of required protection procedure.
F. Application of Hardware
1. Receive, store and be responsible for finish hardware delivered by others; tag and file locally. Apply hardware and accessories according to manufacturer's instructions.
DIVISION SEVEN - THERMAL AND SOUNDING PROTECTION
07150 Dampproofing
07190 Vapor Barrier
A. Furnish and install vapor barrier where interior slabs on grade are repaired or replaced.
B. Vapor barrier to be "Wetstop" as manufactured by SikaKraft or 6 mil polyethylene film labeled for vapor barrier applications.
07200 Insulation
07210 Fibrous Insulation
A. All perimeter exterior walls shall be fully insulated as indicated on the drawings.
B. Batt insulation shall be 3-1/2" thick (D-11) "Fiberglas standard building insulation" made with strong spun glass craft paper vapor barrier with folded trailing edges. Flanges as manufactured by Owens-Corning Fiberglas Corporation, or GFI Corporation for exterior or interior walls at steel stud construction.
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C. Wall insulation shall be stapled and/or taped in place with craft side toward. All joints shall be taped to prevent moisture vapor migration. All wall penetrations and plumbing and electrical boxes shall be insulated on the outside side. Any joints not over blocking shall be taped thoroughly. Stuff insulation around door frames and closely spaced framing members.
07220 Roof Insulation
(Refer to Sub-Division 07500 - Membrane Roofing)
07500 Membrane Roofing
07510 Built-up Roofing and Insulation System
A. Scope
1. All work required or necessary to restore the existing built-up roofing and roof insulation system.
2. The built-up roofing system includes, but is not limited to the membrane, flashing, relief joints, expansion joints, special watertight seals and closures, insulation, gravel, cant strips, etc.
07600 Flashing and Sheet Metal
1. Construct all flashings, curbs, counter-flashing as indicated on the drawings.
B. Products
1. Sheet Metal
(a) 24 ga. galvanized copper bearing steel. Meet requirements ASTM A361-60 for 1.25 oz. commercial.
2. Fasteners
(a) Non-ferrous nails, rivets or screws unless noted otherwise for copper.
(b) Screws, bolts, nails and accessory fasteners to be strength and type consistent with function.
(c) Solder to be of best quality, composed of 1/2 pig lead and 1/2 block tin (non metals). Rosin shall be used as flux.
C. Execution
1. Fasten flashing strips as shown and noted with fasteners 6" O.C.
2. Install or coordinate installation of sealants as shown, noted and otherwise required to assure watertight condition.
3. Corners shall be mitered, seamed and sealed.
4. Provide snail, watertight seams.
5. Fold exposed edges 1/2" to provide stiffness.
6. Provide sufficient hold down clips to insure true alignment and security against wind.
7. Provide 4" minimum overlap.
8. Red overlap joints in aluminum cement.
07900 Joint Sealants
A. Materials
1. All items listed below shall be "Thiokol" by Steelcase Mfg. Co., of St. Louis, Missouri, or approved equal.
2. Sealant shall be based on polysulfide liquid polymer meeting Federal Specifications TDS-272b. The stock color of the caulking compound shall match the color of the mortar joints or areas on which material occurs.
(a) Exterior Conditions
(1) Metal to metal - Type I
(2) Metal to wood - Type I
(3) Metal to masonry or concrete - Type I
(4) Wood to masonry or concrete - Type II
(5) Wood to wood - Type II
(b) Interior Conditions
(1) Metal to metal - Type I
(2) Metal to wood - Type I
(3) Metal to masonry or concrete - Type I
(4) Wood to masonry or concrete - Type II
(5) Wood to wood - Type II
9. Installation
(a) Clean all joints to be caulked, removing loose mortar, fine dust and all other bonding-inhibiting materials such as oil and grease. Joints: dry.
(b) Prime all joints and allow to dry in accordance with manufacturer's recommendations. Lodge appropriate size joint filler into all joints, leaving minimum joint depth of 1/2 inch or depth recommended by sealant manufacturer for joint width.
(c) Mix and install caulking compound in accordance with manufacturer's recommendations. Do not apply caulking temperatures below 40 degrees F.
(d) Apply caulking with hand gun having proper size nozzle to fit joint width. Force compound into grooves with sufficient pressure to expel all air and to fill joints fully. Hand caulk and retail all humples. Note that superficial pointing of joints with skin bead will not be allowed.
(e) Where surfaces are to be painted, complete caulking minimum of 21 days prior to paint application.
(f) Dry caulking surface shall be slightly concave, uniformly smooth and free of wrinkles.
(g) Remove all excess and misplaced caulking from finished surfaces. Leave surfaces, neat, smooth and clean.
C. Guarantee
1. Furnish to owner written guarantee covering all workmanship and materials as installed under this section for period of 2 years from date of acceptance and signed by this Subcontractor and by Contractor.
2. This guarantee runs concurrently and extends beyond Contractor's guarantee as provided in General Requirements.

DIVISION EIGHT - DOORS & WINDOWS
08100 Metal Doors and Frames
A. Materials
1. Manufacturer: Hollow Metal Work, manufactured by one of the following:
(a) Steelcraft
(b) Freshbilt
(c) Ten Steel
2. Test Reports and Certifications
(a) Where label products are required, furnish certification of label construction.
(b) Heat Transmission test certified by an approved independent testing laboratory.
(c) Doors and frames to be of sizes indicated on the drawings.
B. Submittals
1. Shop Drawings
(a) Submit shop drawings in accordance with contract conditions, covering each type of door.
(b) Show glass opening sizes and locations in doors.
(c) Detail connections of hollow metal work to structural steel framing concealed in hollow metal work.
(d) Frames too large to ship in one piece, locate and detail field splice joints and indicate complete instructions for making field splices.
C. Delivery, Storage and Handling
1. Deliver, store and handle hollow metal work in manner to prevent damage and deterioration.
2. Store doors upright, in protected dry area, at least 1 inch or more off ground or floor and at least 1/4 inch between individual pieces.
D. Products
1. Basic Material
(a) Sheet steel for frames: Hot rolled prime quality carbon steel.
(b) Sheet steel for doors: Cold rolled stretcher level sheet steel.
2. Frames (Interior Windows)
(a) Frames: Combination buck, frame and trim type.
(c) Minimum Gauges: 18 gauge.
(c) Frame-form steel sheets
(1) Provide profiles and shapes free of warp, buckles, fractures or other defects. Form stops integral with frames unless otherwise shown.
(2) Corner and connections: Either welded with exposed welds, ground flush and smooth or mechanically assembled (knock-down) type at Contractor's option.
(c) Anchors
(1) Provide an anchor at each jamb for each 2 feet 6 inches of door height or fraction thereof.
(2) Secure metal clip anchor at bottom of each jamb member for anchoring to floor with minimum of 4 fasteners.
(f) Stops and trims.
(1) Applied stops: Formed at 18 gauge steel, corners made to close meet fit and secured at 12 inch intervals with countersunk sheet metal screws.
3. Doors
(a) Face sheets shall be of 18 gauge steel.
(b) Internal stiffeners:
(1) Minimum 18 gauge steel
(2) Splice at not over 5-inch centers.
(c) Sound Deadening: Interior surfaces treated with sound deadening material to eliminate metallic ring.
(d) Glazing stops: 18 gauge steel, secured with countersunk sheet metal screws at minimum 12-inch intervals.
4. Labeled Fire Doors and Frames (where required)
(a) Doors and frames designated to be labeled as indicated on schedule shall bear approved UL listing label.
5. Preparation for Finish Hardware
(a) Prepare doors and frames to receive hardware.
(1) Hardware supplier: Furnish hollow metal manufacturer approved hardware schedule, hardware templates and samples of physical hardware where necessary to insure correct fitting and installation.
(2) Preparation includes linkages and cut-outs for mortise and concealed hardware.
(b) Provide reinforcements for mortise and concealed hardware.
(1) Drill and tap mortise reinforcements at factory, using templates.
(2) Install reinforcement with concealed connections designed to develop full strength of reinforcements.
6. Finish
(a) Doors and frames leveled and ground smooth.
(b) Apply mineral filler to eliminate weld scars and other blemishes.
(c) Give factory coat of rust inhibitive metal primer.
E. Execution
1. Installation of Frames
(a) Exercise care in setting of frames to maintain scheduled dimensions, hold head level and maintain jamb plumb and square.
(b) Secure anchorages and connections to adjacent construction.
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(c) Wherever possible, leave frame spreader bars intact until frames are set perfectly square and plumb, and anchors are securely attached.
(d) Secure frames to structural steel framing concealed in hollow metal work and make field splices.
(e) Allow for expansion movement as required.
2. Installation of doors.
(a) Apply hardware in accordance with hardware manufacturer's templates and instructions.
(b) Adjust operable parts for correct function.
(c) Remove hardware with exception of prime-coated items, tag, box and re-install after finish paint work is completed.
(d) Installation of labeled doors: Conform UL standards or National Fire Protection Association Pamphlet No. 80.
3. Prime Coat Touch-Up.
(a) Immediately after erection, areas where prime coat has been damaged, sanded smooth and touched up with metal primer as applied at shop.
08200 Wood and Plastic Doors
A. Products
1. Doors
(a) Standards: Shall conform to N.H.M.A. Industry Standard 1.5-1-69 with latest revisions.
(b) Thickness: 1 3/4".
(c) Type: Flush
(d) Veneer: Paint grade wood or hardwood.
(e) Core Material:
(1) Label doors shall have non-combustible mineral core made up of tongue and groove sections (where required).
(2) Non-labeled interior doors shall have Type I, density C, Class 1 particle board cores in conformance with commercial standard CS 238-66 "net formed wood particle board".
2. Acceptable Manufacturers
(a) U. S. Plywood, New York, N. Y.
(b) Hyperboard, Tacoma, Wash.
(c) Curtis Door Division - Georgia-Pacific, New London, Wisconsin
(d) Prime Lumber Co., Inc., Oshkosh, Wisconsin
(e) Vancouver Door Co., Inc., P. O. Box 207, Puyallup, Wash. 98071
(f) Buell Door Co., 305 South Haskell Ave., Dallas, Texas 75224
B. Execution
1. Doors shall meet or exceed manufacturer's current advertised standard.
2. Deliver in clean truck and under cover in wet weather.
3. Store flat on a level surface in a dry, well ventilated building.
4. Deliver at building site after plaster or cement is set. If doors are stored at job site for more than one week, at least top and bottom edges shall be sealed.
C. Guarantee
1. Similar to that provided by the National Woodwork Manufacturers' Association, Chicago, Illinois with the following revisions:
(a) Interior doors will be guaranteed five years.
(b) Guarantee shall include finishing, hanging and installing hardware if defect is discovered after door is finished and installed.
08300 Entrances and Store Fronts
08310 Aluminum Entrance and Sidelights
A. Aluminum Hollow Metal Doors, Frames and Accessories:
1. Furnish and install all aluminum doors, frames, transoms, sidelites, hardware, thresholds, etc., in sizes and shapes, and finishes as noted and detailed on the drawings and herein. Include all hardware for all doors as noted and as required. Materials as manufactured by "Brunner", or approved equal. Finish: Anodized (2003F).
2. Aluminum Doors and Frames:
(a) Doors: "Brunner" style "190" doors with offset pivots as indicated on the drawings.
(b) Frames: "Brunner" "350" series aluminum frames as indicated on the drawings.
(c) Closers: "Brunner" Closer "54-4", with backcheck and HVS.
(d) Weatherstripping: Double flush at lock styles on jams at head of door frames and for bottom of doors.
(e) Thresholds: 4", aluminum
(f) Push and Pull Bars:
Pr. Doors - "Brunner" Style F-2 Push & Pull Bars.
(g) Locks: "Brunner" "Maximum Security" locks with exterior key, interior thumb latch.
(h) Floor Stops:
3. "Animated Characters" South Frame Dining Room "A".
(a) Aluminum tube with aluminum stops.
08700 Hardware
08710 Finish Hardware
A. General
1. Work included in this Section: It is the intent for all doors to have operable hardware. Any doors not having hardware should be brought to the attention of the Architect prior to bidding.
THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM AND NO PART BE LOANED WITHOUT THE WRITTEN AUTHORITY OF SHOWBIZ PIZZA PLACE, INC. AND ASSOCIATED DESIGNERS & ARCHITECTS, P. A.
PIS-3D



SHOWBIZ Pizza Place, Inc.
A Subsidiary of Tenth & Management Inc.
200 WEST 10th - TORONTO, CANADA M5T 1B1
Dale Hight 241

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ASSOCIATED
DESIGNERS &
ARCHITECTS

1. Work included in this Section: It is the intent for all doors to have operable hardware. Any doors not having hardware should be brought to the attention of the Architect prior to bidding.

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2. All locks shall be master keyed.

3. Hardware shall be furnished by a supplier approved by the Architect as having appropriate technical experience and competent to intelligently interpret the plans, detailing drawings, and specifications. An Architectural Hardware Consultant, member of the Door and Hardware Institute is preferred.

4. Installation:

(a) All builders hardware shall be carefully fitted, secured and adjusted by skilled mechanics in accordance with manufacturer's instructions. Special care shall be taken to avoid damaging surrounding surfaces. Hardware finishes shall be adequately protected from solvents, paints, acids, etc., by General Contractor.

(b) Fastenings of suitable size, quantity and type shall be provided to secure hardware in proper position for heavy use and long life. Fastenings to building construction shall be furnished with anchoring devices suitable for the condition.

B. Product

1. Hardware taken from the catalogs of the following manufacturers:

APPROVED EQUALS

Butts: Laurence, McKinney
Locks: Schlage, Baldwin
Panic Devices: Von Duprin
Closers: LCI, Horton
Flatpads: Brookline, Trego
Kickplates shall be 8" high x 2" LRI
Weatherstrip: National Guard, Zero
O.H. Holders: Glynn Johnson, Haldrup
All stops shall be well mounted where possible.
Tollet Accessories: Bradley, ASI
Miscellaneous: S. Parker

2. Specific requirements are scheduled and indicated on the drawings.

C. Keying:

1. All locks to be Master-Keyed.
2. Furnish 3 master keys to the General Contractor, for use during construction.
(a) These keys shall be returned to the owner, before final payment.

08B10 Glass - General

A. General

1. Each pane of glass shall bear manufacturer's label stating thickness, quality, trade name, manufacturer's name and type of glass. Maintain labels in place until final cleaning.
2. Furnish and install glass for entrances, doors and partitions as shown and/or specified.
3. Special Note: Glass installation in label frames shall be in compliance with the requirements of the UL Inc. label for each particular situation (where required).

B. Materials

1. Manufacturers: Pittsburgh Plate Glass, Libbey-Owens-Ford, C-E Glass.
2. Glass shall be of type indicated at each glazed opening on the drawings, or of type required by governing authority.
3. (a) Float or sheet glass shall be equal to Federal Specification DG-G-451C.
(b) Tempered Safety Glass shall be equal to Federal Specification DG-G-1403B and ANSI Z97.1.
(c) Polycarbonate sheet shall be "Lexan" HR 4004 mar resistant sheet as manufactured by General Electric Corporation.
(d) Mirror glass shall be 1/4" polished plate glass with electroplated copper back over heavy film of silver.
(e) One way mirror glass to be 1/4" clear float mirrorpane equal to Federal Specification DG-G-451C.
4. Glazing Compounds:
(a) Exterior: No. 781 by Dow Corning or "Silicone Sealant 1300" by General Electric.
(b) Interior: "Tremglaze" or H. B. Fahl's glazing compound.

C. Execution:

1. Install glazing in accordance with recommendations of the "Glazing Manual" of Flat Glass Jobber's Association and in accordance with aluminum frame manufacturers printed instructions.
2. Work glass with whitewash or tape after set in place to warn other trades.

DIVISION NINE - FINISHES

09100 Gypsum Wallboard and Steel Stud Partition System

A. General

1. Construct all partitions as indicated on the drawings, both exterior and interior as a part of this division.

2. Qualifications

(a) All materials, unless otherwise indicated, shall be equal to those manufactured by United States Gypsum Company, and shall be installed in accordance with its current printed directions.

3. Delivery and Storage of Materials

(a) All materials shall be delivered in their original unopened packages and stored in an enclosed shelter providing protection from damage and exposure to the elements. Damaged or deteriorated materials shall be removed from the premises.

4. Environmental Conditions

(a) In cold weather and during gypsum panel application and joint finishing, temperature within the building shall be maintained within the range of 55 degrees to 70 degrees F. (13 to 21 degrees C).

Adequate ventilation shall be provided to carry off excess moisture.

B. Gypsum Board Walls, Ceilings and Accessories

1. Furnish and install gypsum board walls and ceilings in all areas where shown on plans and listed hereafter. All exposed joints and taped shall be made with U.S.G. "Perf-A-Tape" joint system. "NW Gypsum Board" joints and ceiling angles shall be pre-filled with U.S.G. Burboard "90" joint compound in accordance with the manufacturer's directions. "Tapered gypsum board" joints do not require filling with a special compound.

(a) U.S.G. Co.'s Type "24" or "Tapered Halfboard" for walls and ceilings as indicated on the drawings; furnish in 1/2" thickness, or equal.
(b) U.S.G. Co.'s Type "24" or "Tapered Halfboard" shall be installed on walls of all toilets; furnish in 1/2" thickness, or equal.
(c) U.S.G. exterior sheathing on exterior perimeter walls in 1/2" thickness.

(c) 1 1/2" Fiberglass sound attenuation blankets where indicated on the drawings.
2. Furnish and install U.S.G. Co.'s "Rin-A-Rend" patented steel corner-bead for all external corners, or equal.

3. Reinforcing tape and cement shall be U.S.G. "Perf-A-Tape", U.S.G. joint cement, U.S.G. taping cement; all "90" joints and ceiling angles shall be pre-filled with U.S.G. Burboard "90" joint compound; all materials shall be as manufactured by United States Gypsum Company or approved equal.

C. Steel Stud Walls

1. Metal studs shall be U.S.G. stud gauge as required, galvanized in sizes as indicated on the drawings and as required.

2. Metal stud track shall be U.S.G. Steel Runner, 25 ga., galvanized, of sizes as required.
3. Galvanized screws and clips for assembly as recommended by manufacturer.

4. Installation of Metal Studs: Align floor and ceiling track to assure plumb partition. Secure track with suitable fasteners at a maximum of 24" o.c. Position studs in track by rotating into place and secure with 1/4" x 3" screws located adjacent to door and window frame, partition intersections and corners by 3/8" drywall pin head screws through both flanges of studs and track or by using a stud clincher.

D. Installation of Gypsum Board

1. Installation is to follow the procedure for the "Perf-A-Tape Joint System" of the United States Gypsum Company.

2. Workmanship:

(a) Corner bead shall be applied to all external angles. All joints and internal angles shall be finished smooth in accordance with the Manufacturer's instructions.

(b) Gypsum board shall be applied where gypsum walls or ceilings abut to surfaces with a different finish as required.

(c) Installation shall be in accordance with city codes.

09200 Lath and Plaster

09210 Exterior Synthetic Plaster System (Where Required)

A. The exterior finish shall be as manufactured by "Dryvit System, Inc." and installed by the manufacturers approved applicators.

B. Materials

1. Dryvit Primus/Adhesive as manufactured by Dryvit System, Inc. Portland Cement-ASTM C-150, Type 1.

2. Dryvit Insulation Board - expanded polystyrene, less than 25 lb. per cu. ft., 1/2" thick, average density: 2 to 2.5 lbs. per cu. ft. Federal Specification MIL-1524B, Type 1, Class A. Thickness (specify as required for a factor of wall - minimum 3/4"). In addition, all insulation board shall be aged (air-dried) for six weeks before use. The following dimensional tolerances shall apply for Insulation Board in lieu of Federal Specification MIL-1524B: Edges shall be square within 1/32 inch per foot. Thickness shall be within a tolerance of plus or minus 1/16 inch. As manufactured by Dryvit System approved manufacturer.

3. Dryvit Reinforcing Fabric - balanced open weave glass fiber fabric made from twisted multi-end strands, specifically treated for compatibility with Dryvit materials. Fabric to conform to MIL V-1140C.

4. Dryvit Quarsputz Finish - as manufactured by Dryvit System, Inc.

(a) Colors and textures where indicated on the drawings to be:

45 Egg Shell White Standard Saddle Texture
45-11-12-3 Red Vertical Drop Texture
45-11-12-3 Yellow Vertical Drop Texture
45-11-12-3 Orange Vertical Drop Texture

(b) Dryvit Primus/Adhesive and Dryvit Quarsputz shall be stored at temperature not less than 40 degrees F. No additives such as rapid binders, anti-freeze, accelerators, etc., shall be added to any Dryvit material under any circumstances. For installation in ambient temperatures less than 40 degrees F., supplementary heat shall be provided. A minimum ambient temperature of 40 degrees F. shall be maintained for at least 48 hours after installation. Subsequent to installation, the wall shall remain free of residual moisture.

C. Installation

1. Preparation of the wall surface (by others): All materials in this section are to be installed by approved Dryvit applicators. The surface shall have no planar irregularities greater than 1/4 inch. The surface to be covered shall be sound, free of hot spots, releasing agents (silicones, oils, etc.) and other residues.

2. Mixing Dryvit Primus/Adhesive: Use clean container, free of all foreign substance, for mixing and preparing material. Mix Type 1 Portland Cement with Primus/Adhesive in a ratio, by volume, of one part fresh Portland Cement to one part Primus/Adhesive. This mixed Primus/Adhesive shall be used for Insulation Board adhesive and Primus coating. Set life for mixed Primus/Adhesive is the same as ordinary mortar or plaster materials. Keep container closed when not in use.

3. Applying Dryvit Insulation Board: This application of Dryvit Insulation Board to vertical surfaces shall begin at the base from firm, permanent or temporary support. Adhesion shall be made to a clean hard surface as described under "Preparation of Wall Surface". Apply Insulation Board to surface to fit under "Preparation of Wall Surface". Stagger vertical joints. By trowel or extrusion, apply a ribbon of mixed Primus/Adhesive approximately 1/2 inch wide by 1/2 inch thick to the entire perimeter of each board. Apply dots or ribbons of the same thickness to the interior area approximately 8 inches on center. Apply pressure over entire surface of board to insure uniform contact and high initial

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grab. Abut all joints tightly and insure an overall flush level surface. All areas where the Dryvit System joints abut materials or terminates at roof lines, window jambs, heads and sills, etc., must be protected in order that no water can penetrate behind the Dryvit Insulation Board.

4. Dryvit Primus Coating and Reinforcing Fabric: Using a stainless steel trowel apply mixed Dryvit Primus/Adhesive to the entire surface of the insulation board to a uniform thickness of approximately 1/16 inch. For this use water may be mixed with the mixed Primus/Adhesive to enhance workability. Install corner bead, plaster stops, etc., as required. Immediately place the reinforcing fabric against the wet primus coating and by troweling from the center to the edges, embed the fabric into the coating. Reinforcing fabric shall be continuous at corners and tapered not less than 2-1/2 inches at fabric edges. Avoid wrinkles in embedding the Reinforcing Fabric. The finished thickness of the Primus Coating shall be such that the Reinforcing Fabric is fully embedded.

5. Dryvit Quarsputz Finish: Thoroughly mix the factory prepared Quarsputz Finish material with the high speed mixer until a uniform variable consistency is attained. Clean water may be added to adjust workability to suit. Using a clean stainless steel trowel, apply a light coat of the Quarsputz Finish directly to the Reinforcing Fabric coating. The final coat texture is achieved by allowing the trowel to roll on the round aggregate using a variety of motion and trowels or floats to create the desired texture. The final thickness shall be not greater than the diameter of the largest aggregate of the Quarsputz Finish material.

09300 Tile

09310 Quarry Tile

A. Where indicated on the room finish schedule, furnish and install quarry tile floor.

B. Tile to be Dallas Ceramic Company 4" x 8" Bal Rustic "Heritage Flash" with abrasive surface.

C. Set by thin set mastic and grout joints with colored mortar to match tile.

D. Refer to drawings for direction of running bond.

09500 Acoustical Treatment

09510 Acoustical Ceilings

A. Construct all suspended acoustical ceilings where indicated on the room finish schedule. Colors of acoustical board and exposed portion of suspension system are indicated on the room finish schedule sheet.

B. The suspension system shall be "500" series as manufactured by Chicago Metallic. Manufacturers of equal quality may request permission to submit a proposal if color samples are approved by the owner prior to bidding.
C. The ceiling board shall be "Cortega Colorscape" as manufactured by the Armstrong Cork Company.

Doors to be 2' x 4' x 5/8" lay-in colors indicated on the finish schedule.
Flare spread of boards must be rated Class 25.

D. Acoustical batts shall be 3-1/2" thick fiberglass and may be supplied in 2' x 4' size. Refer to room finish schedule for areas requiring acoustical treatment.

09650 Resilient Flooring and Base

09660 Resilient Floor

A. Resilient flooring to be Kerflite "Travelrite" 1/10" thick x 12" x 12" and "Avanti" 3/32" thick x 12" x 12" in colors as indicated on the room finish schedule.

09651 Resilient Base

A. Resilient Base shall be Kerflite Renova Group 1.

B. Install where indicated on the room finish schedule.

09661 Vinyl Carpet Saddle

A. Furnish and install vinyl carpet saddle where carpet abuts quarry tile. Color: Dark Brown

D. Saddle to be "Hercor" Co. 51 underlaid carpet step-off half saddle. Color: Dark Brown

09700 Carpets:

A. Carpets for floors and walls will be furnished by Showbiz Pizza Place and installed by the General Contractor.

B. Carpet pad indicated on the drawings shall be furnished and installed by the General Contractor. Carpet pad shall be flame retardant type and must be approved by the Owner.

C. Rustic for wall carpet shall be W. M. Henry #165 Water Soluble, fire retardant.

09900 Painting

A. Provide all material and labor to complete the finishes in a first class manner required by the room finish schedule and the drawings and the following specifications.

B. Type of Paint

1. All materials shall be by the following manufacturers, as indicated on the specification herein:

(a) DEVCO (D) - manufactured by Devco Paint Division, Celanese Coatings Company, or equal.

C. Extent of Work:

1. NO TYP PAINT.

NOTE: Copper, bronze, chromium plate, nickel, stainless steel, aluminum, aluminum, aluminum, panel metal, factory finished metals, and other materials specified with a complete factory finish shall not be painted unless otherwise specified.

(a) Concrete stops or floors.
(b) Wards (factory finish).
(c) Laminated plastic tops, splashers.
(d) Rubber or vinyl bases.
(e) Vanity tops.
(f) Acoustical ceilings.
(g) Aluminum entrance doors, frames and aluminum window frames.
(h) Prefinished wood paneling.
(i) Vinyl wall covering.

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2. Exterior Painting:
(a) Miscellaneous items of poured concrete, two coats paint.
(b) All items of wood trim, wood soffits, two (2) coats stain or paint.

(c) Metal doors and metal frames requiring paint; three (3) coats paint.

(d) All galvanized iron downspouts, flashings, louvers, grilles, conduits and etc., two (2) coat paint system.

(e) Steel guard rails, steel guard posts, steel lintels, meter boxes, electrical panels, telephone boxes, miscellaneous items of steel and factory primed miscellaneous metals; two (2) coats paint.

3. Interior Painting:

(a) Gypsum board walls, dropped heads and ceilings, as indicated on room finish schedule.

(b) All miscellaneous items of primed and unprimed steel and metals including electrical panels, grilles, registers, louvers, all roof hatches, lintels, and etc., to receive two (2) coats enamel.

(c) Wood doors, two (2) coats paint.

(d) Wood trim, butts, decorative wood screen to receive a 3 coat stain and varnish system where indicated on room finish schedule.

(e) Plywood electrical and telephone wall boards, plywood platforms and ramps, and wood partition to receive one (1) coat stain-sealer or two (2) coats paint.

(f) Metal doors, metal frames and metal light frames to receive two (2) coats enamel.

(g) All galvanized iron grilles, registers, louvers, conduits, boxes, and etc., to receive two (2) coats enamel.

(h) Gypsum and gypsum board walls receiving vinyl wall covering finish per manufacturer's recommendations.

(i) All structural metal touch-up prime.

D. Painting and Finishing.

1. Exterior painting and finishing.

(a) Miscellaneous items of poured concrete: 2 coats - D DEVCO, exterior latex masonry paint #508XX.

(b) Exterior miscellaneous wood trim: First coat, 1102 Exterior House Paint Primer, second coat, High Gloss Polyurethane #508XX.

(c) All metal doors, metal frames requiring paint: Patch prior factory primed metals only: First coat - D, Metal Primer, #13201; second and third coats - D, #12X, S-G or #12X, S-G.

(d) All galvanized iron flashing, scuppers, downspouts, ventilating grilles, louvers, exposed ductwork and unprimed accessories, conduits and all miscellaneous items of galvanized iron to be painted: First with surface with "Metal Treat", then apply the following: First coat - D Primer, #13201, tinted to final color; second coat - D, acrylic house paint - #142X, flat or D, #12X, flat.

2. Interior painting and finishing (per room finish schedule).

(a) Gypsum board walls requiring 2 coats, flat: 2 coats - D, Monospeed, #508XX, flat latex.

(b) Gypsum board walls requiring 2 coats epoxy paint, S-G, first coat - (black and concrete) D, #1010 Black filler, tinted (gypsum board), D, PMA wall sealer, tinted; second coat - D, TRU-GLAZE-B color coating, S-G, #121X.

(c) Gypsum board ceilings and walls requiring 2 coats textured S-G (1/4 inch punch for texture): 2 coats - D, latex S-G enamel, #508XX.

(d) Gypsum board surfaces requiring vinyl wall covering: First - seal wall per vinyl wall covering manufacturer's requirements; second, furnish and install vinyl wall covering.

(e) Miscellaneous items of primed and unprimed steel and metals including electrical panels, grilles, registers, louvers, roof hatches, lintels, etc., metal doors, and metal frames requiring 2 coats, eggshell enamel: First, spot prime all primed metals with D, #51301, as required, then apply two (2) finish coats: 1st coat - D, enamel undercoat, #51301, tinted. 2nd coat - D, eggshell enamel, #423X.

(f) Wood frames: trim; wood doors; work requiring two (2) coats paint. First coat - enamel undercoat; second coat - velour eggshell enamel.

(g) All wood decorative wall and trim and miscellaneous items of wood designated to receive a 3 coat stain and varnish system: First - sand all rough sawn wood to eliminate splinters and extreme roughness, then apply: First coat, D, Interior Stain #98X, second and third coats - D, polyurethane varnish, #410 #600.

(h) Plywood electrical and telephone wall boards and plywood platform, etc., requiring 1 coat paint.

(i) Woods on unpainted surfaces: 1 coat - D, Monospeed #51301; second coat - D, use wall paint.

(j) Wood on painted walls: First coat - D, undercoat, #51301; second coat - D, use wall paint.

(k) All galvanized iron grilles, registers, louvers, conduits, boxes and etc., requiring 2 coats paint: First coat - D, primer, #13201; second coat - D, use wall paint.

(l) Structure: All miscellaneous metal items that are pre-primed shall be patch primed as required to match material used for shop coat.

(m) Vinyl Wall Fabric

A. All vinyl wall fabric is specified as to quality, manufacturer and color on the construction documents. No substitutions will be allowed.

B. All material shall be installed in accordance with the manufacturer's specifications.

THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF SHOWBIZ PIZZA PLACE, INC. AND ASSOCIATED DESIGNERS & ARCHITECTS, P.A.

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A subsidiary of People Inc. Management Inc.
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Rev'd 5-15-80

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ASSOCIATED
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ARCHITECTS

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DIVISION TEN - SPECIALTIES

10160 Toilet Partitions

A. Toilet Partitions

1. Furnish and install toilet partition doors and jambs and urinal screens as required by the drawings.

B. Materials

Metap Steel Products Corporation

1. Stall and door - Type PP-500

2. Urinal screens - Type "P"

3. Accessories: Double roll paper holder; coat hook and bumper;

handicapped grab bars as shown.

OR

General Partitions Hfg. Corporation

1. Stall and door - Series 60

2. Urinal screens - Type RDS-1

3. Accessories: Same as 3 above.

C. Installation

1. Pilasters to be fastened to floor by means of two 1/4" bolts and expansion plugs set into finished floor. All bolts to have lock washers to prevent loosening.

2. Pilasters to be adjustable for leveling by means of two leveling bolts and a center jack screw to carry the weight of the pilasters.

3. Headrail to be "anti-grip" continuous drawn tubular anodized aluminum threaded through the tops of pilasters. Tops of pilasters to have concealed #12 gauge "U" shaped channels full width of pilaster, welded internally to receive the headrail.

10200 Louvers

A. Exterior louvers shall be equal to Ruskin Manufacturing Company Type L-3 galvanized metal with insect screen. Size as indicated on the drawings.

10260 Wall and Corner Guards

A. Where indicated on the drawings furnish and install clear corner protectors.

B. Corner protectors shall be Tri-Guards "Vexas" as manufactured by Tri-Guards, Inc., 793 Seaton Court, Wheeling, Illinois 60090; telephone - area code 312 - 537-8444.

C. Guards shall be installed with chrome plated sheet metal screws.

10410 Display Case

A. Display case indicated on the drawings shall be Pablock outdoor, lighted board, Series A-824 with beveled aluminum front and sides (Series A-800), when indicated on drawings, and cork board back surface. Glass shall be tempered. Provide case with cylinder locks.

10521 Portable Fire Extinguishers

A. Where portable fire extinguishers are indicated on the drawings, these will be furnished and installed by the Owner.

10800 Toilet and Bath Accessories

10805 Refer to drawing for schedule of toilet room accessories.

10810 Metal Framed Mirrors

A. Mirrors are specified on the drawings under toilet accessories.

DIVISION ELEVEN - (RESERVED)

DIVISION TWELVE - FURNISHINGS

12500 Drapery and Track

A. Refer to finish schedule and drawings for location of curtains, drapes, swags and valances to be furnished by the Owner and installed by the General Contractor.

B. All drapery track, traverse rods and power operators for Item A will be furnished by the Owner and installed by the General Contractor.

PHS-5A

PHS-5B

PHS-5C

PHS-5D THESE DOCUMENTS MAY NOT BE USED OR REPRODUCED IN ANY FORM WITHOUT THE WRITTEN AUTHORITY OF SHOWBIZ PIZZA PLACE, INC. AND ASSOCIATED DESIGNERS & ARCHITECTS, P. A.



Showbiz Pizza Place, Inc.

A Subsidiary of Republic Management Inc.

2500 WEST 26th - TORONTO, ONTARIO M8T 1K7

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REV. 5-15-80

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DATE

ASSOCIATED
DESIGNERS &
ARCHITECTS

WASHINGTON
D.C. 20004
TEL (202) 451-1888

PM5
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DATE

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SECTION 15A HEATING, VENTILATING AND COOLING SPECIFICATIONS

- 01 READ PROVISIONS OF "GENERAL CONDITIONS" AND "SPECIAL CONDITIONS".
- 02 ALL WORK UNDER THIS CONTRACT SHALL BE IN FULL COMPLIANCE WITH CURRENT LOCAL, FEDERAL AND STATE LAWS, CODES, RULES AND REGULATIONS AS WELL AS THE REQUIREMENTS AND RECOMMENDATIONS OF SERVING UTILITIES, ASHRAE AND THE NATIONAL FIRE PROTECTION ASSOCIATION. IN THE ABSENCE OF LOCAL ORDINANCES TO THE CONTRARY, WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL MECHANICAL CODE. SHOULD ANY WORK SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED BE OF A LOWER STANDARD THAN SAID LAWS, REGULATIONS, ORDINANCES, UTILITY REQUIREMENTS OR CODES, THE WORK SHALL BE EXECUTED IN ACCORDANCE WITH SAID LAWS, REGULATIONS, ORDINANCES, UTILITY REQUIREMENTS OR CODES WITHOUT INCREASED COST TO THE OWNER, BUT NOT UNTIL THE POINTS IN QUESTION HAVE BEEN REFERRED TO THE ENGINEER FOR HIS APPROVAL.
- 03 THIS CONTRACTOR SHALL NOTIFY ALL GOVERNING AUTHORITIES RELATIVE TO WHEN INSPECTIONS ARE REQUIRED, OBTAIN AND PAY FOR ALL PERMITS AND LICENSES AND MAKE ALL DEPOSITS NECESSARY FOR THE INSTALLATION OF THE SYSTEM. INSTALLED UNDER THIS SECTION OF THESE SPECIFICATIONS, THIS CONTRACTOR WILL NOT BE REQUIRED TO MAKE DEPOSITS TO UTILITIES WHICH ARE REFUNDABLE TO THE OWNER IN FULL.
- 04 MATERIALS AND EQUIPMENT SHALL BE AS SPECIFIED UNLESS SUBSTITUTIONS ARE APPROVED IN WRITING.
- 05 PREPARE AND SUBMIT SIX COPIES OF SHOP DRAWINGS FOR ALL EQUIPMENT TO BE FURNISHED FOR THIS PROJECT.
- 06 PROVIDE NECESSARY CHASES. PROVIDE ALL REQUIRED EXCAVATION AND BACKFILL.
- 07 AFTER COMPLETION OF THE WORK DESCRIBED IN THIS SPECIFICATION AND SHOWN ON THE DRAWINGS, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT, REMOVING ALL LABELS AND STICKERS, REMOVE ANY DEBRIS, CRATING, CARTONS, ETC., AND LEAVE ALL INSTALLATIONS FINISHED AND READY FOR OPERATION AND OCCUPANCY.
- 08 UPON SYSTEM COMPLETION BALANCE AND ADJUST ALL SYSTEMS FOR PROPER DISTRIBUTION OF AIR, ELIMINATION OF DRAFTS, NOISE AND VIBRATION.
- 09 PROVIDE OWNER WITH OPERATING AND MAINTENANCE INSTRUCTIONS INCLUDING LIBERATION REQUIREMENTS.
- 10 THIS CONTRACTOR SHALL FURNISH TO THE ELECTRICAL CONTRACTOR FOR HIS INSTALLATION, ALL ELECTRICAL CONTROLS, RELAYS, THERMOSTATS AND RELATED ACCESSORIES AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING MECHANICAL SYSTEM. SUCH DISCONNECTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ALL STARTER OVERLOADS, REQUIRED FOR EQUIPMENT INSTALLED UNDER THIS CONTRACT, SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR.
- 11 MAINTAIN TEMPORARY HEATING CONTINUITY DURING CONSTRUCTION PERIOD.
- 12 FURNISH AND INSTALL GRILLES, REGISTERS, DIFFUSERS AND LOWERS AS INDICATED. ALL SUCH UNITS SHALL BE AS MANUFACTURED BY TITUS, LUNA OR APPROVED EQUAL.
- 13 FURNISH AND INSTALL EXHAUSTERS AS INDICATED. EXHAUSTERS SHALL INCLUDE BACK DRAFT DAMPERS, ALUMINUM DIBO SCREWS, INTERNAL DISCONNECT SWITCHES, CONTROLLERS AND REQUIRED GRILLES.
- 14 PROVIDE OPENINGS IN WALLS AND ROOF UNDER THIS CONTRACT FOR ALL REQUIRED MECHANICAL INSTALLATIONS. FLASH AND SEAL.
- 15 FURNISH AND INSTALL VULCANIZING EXTRACTORS WITH MANUAL ADJUSTING LEVER TYPE OPERATORS AT ALL BRANCH DUCT TAKEOFFS.
- 16 FURNISH AND INSTALL RECTANGULAR GALVANIZED STEEL OUTDOOR IN FULL COMPLIANCE WITH REQUIREMENTS OF SMOKE. PROVIDE TURNING VANES IN ALL 90° TURNS. ROUND OUTDOOR SHALL BE GALVANIZED SHEET METAL ON OWENS-CORNING FIBERGLASS 1/2" X 25' X 10' LABELLED CLASS 1 FLEXIBLE DUCT, OR APPROVED EQUAL, INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS. SUPPORT OUTDOOR FROM STRUCTURE ABOVE WITH HANGERS NOT MORE THAN 6" Ø APART. DO NOT SUPPORT OUTDOOR FROM CEILING SYSTEM. INSTALL FLEXIBLE CONNECTIONS TO EACH FACE OF EQUIPMENT CONTAINING A FAN OR BLOWER.
- 17 FURNISH AND INSTALL THROUGHPUT TYPE GLASS FIBER FILTERS IN ALL AIR HANDLING UNITS. REMOVE FILTERS AND INSTALL NEW FILTERS ON JOB COMPLETION.
- 18 FURNISH AND INSTALL HVAC EQUIPMENT AS SPECIFIED ON THE DRAWINGS, OR APPROVED EQUAL.
- 19 PROVIDE AUTOMATIC TEMPERATURE CONTROL FOR ALL HVAC UNITS. PROVIDE PLASTIC LOCKING COVERS FOR THERMOSTATS. ALL CONTROLS SHALL BE PROVIDED BY EQUIPMENT MANUFACTURER.
- 20 ALL RECTANGULAR SUPPLY, RETURN AND FRESH AIR OUTDOOR SHALL BE LINED WITH 1" THICK OWENS-CORNING 1 1/2" LB. "ZERO-FLEX" WITH RO COATING OR APPROVED EQUAL. DUCTS USED FOR ACQUICAL TREATMENT SHALL BE LINED WITH 1/2" THICK OWENS-CORNING 1.8" "ZERO-FLEX" OR APPROVED EQUAL. INSTALL OWENS-CORNING, OR APPROVED EQUAL, FACED DUCT DRAP ON ROUND GALVANIZED OUTDOOR.
- 21 INSTALL SMOKE DETECTORS IN RETURN AIR DUCTS OF RTU-1, RTU-2 AND RTU-3 FOR BURNER SHUT-DOWN.
- 22 GUARANTEE ALL ITEMS OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 23 VARIOUS ITEMS OF KITCHEN EQUIPMENT ARE INDICATED ON THE DRAWINGS. THIS CONTRACTOR SHALL CAREFULLY COORDINATE HIS INSTALLATIONS WITH THE KITCHEN EQUIPMENT SUPPLIER. FURNISH AND INSTALL KITCHEN EXHAUST OUTDOOR AND REGISTERS AS INDICATED ON THE DRAWINGS.
- 24 CONSTRUCTION OF THIS PROJECT WILL BE PERFORMED WITHIN AN EXISTING BUILDING. ALL REQUIRED MODIFICATIONS, REPAIRS, RELOCATIONS OR REVISIONS OF EXISTING HVAC SYSTEMS REQUIRED TO PERMIT CONSTRUCTION OF THIS PROJECT SHALL BE PERFORMED WITHIN THE SCOPE OF THE CONTRACT AND WITHOUT ADDITIONAL COST TO THE OWNER.

REMOVE EXISTING HVAC INSTALLATIONS WHEN AND AS REQUIRED FOR THE COMPLETION OF THIS PROJECT. AS INDICATED ON THE DRAWINGS, REMOVALS SHALL BE PERFORMED TO PRESENT A NEAT AND FINISHED APPEARANCE WHICH IS ACCEPTABLE TO THE PROJECT ARCHITECT.

SALVAGED MATERIALS WILL BECOME THE PROPERTY OF THE HVAC CONTRACTOR AND WILL BECOME HIS PROPERTY. SALVAGED MATERIALS SHALL BE REMOVED FROM THE JOB SITE BY THIS CONTRACTOR.

P15-6A

SECTION 15B PLUMBING SPECIFICATIONS

- 01 READ PROVISIONS OF "GENERAL CONDITIONS" AND "SPECIAL CONDITIONS".
- 02 ALL WORK UNDER THIS CONTRACT SHALL BE IN FULL COMPLIANCE WITH CURRENT LOCAL, FEDERAL AND STATE LAWS, CODES, RULES AND REGULATIONS AS WELL AS THE REQUIREMENTS AND RECOMMENDATIONS OF SERVING UTILITIES AND THE NATIONAL FIRE PROTECTION ASSOCIATION. IN THE ABSENCE OF LOCAL PLUMBING ORDINANCES TO THE CONTRARY, WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE. SHOULD ANY WORK SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED BE OF A LOWER STANDARD THAN SAID LAWS, REGULATIONS, ORDINANCES, UTILITY REQUIREMENTS OR CODES, THE WORK SHALL BE EXECUTED IN ACCORDANCE WITH SAID LAWS, REGULATIONS, ORDINANCES, UTILITY REQUIREMENTS OR CODES WITHOUT INCREASED COST TO THE OWNER, BUT NOT UNTIL THE POINTS IN QUESTION HAVE BEEN REFERRED TO THE ENGINEER FOR HIS APPROVAL.
- 03 THIS CONTRACTOR SHALL NOTIFY ALL GOVERNING AUTHORITIES RELATIVE TO WHEN INSPECTIONS ARE REQUIRED, OBTAIN AND PAY FOR ALL PERMITS AND LICENSES AND MAKE ALL DEPOSITS NECESSARY FOR THE INSTALLATION OF THE SYSTEMS INSTALLED UNDER THIS SECTION OF THESE SPECIFICATIONS. THIS CONTRACTOR WILL NOT BE REQUIRED TO MAKE DEPOSITS TO UTILITIES WHICH ARE REFUNDABLE TO THE OWNER IN FULL.
- 04 MATERIALS AND EQUIPMENT SHALL BE AS SPECIFIED UNLESS SUBSTITUTIONS ARE APPROVED IN WRITING.
- 05 PREPARE AND SUBMIT SIX COPIES OF SHOP DRAWINGS FOR ALL EQUIPMENT TO BE FURNISHED FOR THIS PROJECT.
- 06 PROVIDE NECESSARY CHASES. PROVIDE ALL REQUIRED EXCAVATION AND BACKFILL, CUT AND PATCH EXISTING SLABS ON PAVED AREAS AS REQUIRED. DISTURBED SURFACES SHALL MATCH ADJACENT UNDISTURBED SURFACES TO THE SATISFACTION OF THE ARCHITECT.
- 07 AFTER COMPLETION OF THE WORK DESCRIBED IN THIS SPECIFICATION AND SHOWN ON THE DRAWINGS, THIS CONTRACTOR SHALL THOROUGHLY CLEAN ALL EXPOSED EQUIPMENT, REMOVING ALL LABELS AND STICKERS. REMOVE ANY DEBRIS, CRATING, CARTONS, ETC., AND LEAVE ALL INSTALLATIONS FINISHED AND READY FOR OPERATION AND OCCUPANCY.
- 08 THIS CONTRACTOR SHALL FURNISH TO THE ELECTRICAL CONTRACTOR FOR HIS INSTALLATION, ALL ELECTRICAL CONTROLS, RELAYS, THERMOSTATS AND RELATED ACCESSORIES AS REQUIRED TO PROVIDE A COMPLETE AND FUNCTIONING MECHANICAL SYSTEM. SUCH DISCONNECTS SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ALL STARTER OVERLOADS, REQUIRED FOR EQUIPMENT INSTALLED UNDER THIS CONTRACT, SHALL BE FURNISHED BY THE MECHANICAL CONTRACTOR.
- 09 TRAP ALL FIXTURES. PROVIDE AIR CHAMBERS AT ALL VALVED WATER SUPPLIES. NO CROSS CONNECTIONS. PROVIDE INSULATING UNITS AT JUNCTURE OF DISSIMILAR METALS.
- 10 ALL WATER PIPING SHALL BE COVER -- SOFT TUBER TYPE "C" BELOW GROUND AND TYPE "L" ABOVE GROUND. SLEEVE PENETRATIONS WITH 1/2" ANIAPLEX. VALVE ALL FIXTURES AND BRANCH LINES. VALVE SHALL BE 1/2" ANIAPLEX. VALVE ALL PIPING WITH FEE A HADON ADJUSTABLE HANGERS -- NO PERFORATED STRAP OR WIRE. SUPPORT ALL PIPING FROM STRUCTURE NOT CEILING SYSTEM. ISOLATE ALL DOMESTIC COLD WATER AND HOT WATER PIPING WITH 1" OWENS-CORNING FIBERGLASS WITH FIBER JACKET, OR APPROVED EQUAL. PROVIDE VAPOR BARRIER ON COLD WATER PIPING INSULATION. ISOLATE ALL VALVE BODIES, FITTINGS, FLANGES, ETC. AND PROVIDE ZESTON PVC COVERS. ALL HOT AND COLD WATER SUPPLY PIPING SHALL BE HANGERS TO DRAIN TO THE LOWEST POINT SO THAT THE ENTIRE SYSTEM CAN BE EMPTIED.
- 11 ALL SOIL, WASTE, DRAIN AND VENT PIPING BELOW GROUND SHALL BE SERVICE WEIGHT CAST IRON SOIL, WASTE, DRAIN AND VENT PIPING ABOVE GROUND SHALL BE SERVICE WEIGHT CAST IRON GALVANIZED STEEL. CAST IRON JOINTS SHALL BE "TY-SEAL" OR NEOPRENE SLEEVE WITH STAINLESS STEEL SHIELD AND CLAMP.
- 12 VALVES SHALL BE STOCKHOLD NO. 8-105 FOR STEEL AND NO. 8-112 FOR COPPER.
- 13 FLUSH AND STERILIZE WATER SYSTEM.
- 14 ALL PLUMBING SYSTEMS INSTALLED UNDER THIS SECTION OF THESE SPECIFICATIONS SHALL BE TESTED AND APPROVED AS REQUIRED BY THE INSPECTION AUTHORITY HAVING JURISDICTION. IN THE EVENT THAT THE INSPECTION AUTHORITY HAVING JURISDICTION DOES NOT HAVE SPECIFIC REQUIREMENTS, THESE SYSTEMS SHALL BE TESTED AND APPROVED AS HEREIN DESCRIBED. THE DRAINAGE AND VENT SYSTEM SHALL BE TESTED BY PLUGGING ALL OPENINGS WITH TEST PLUGS EXCEPT THOSE AT THE TOP OF STACKS AND THEN FILLING WITH WATER. TEST RESULTS WILL BE SATISFACTORY IF THE WATER LEVEL REMAINS STATIONARY FOR NOT LESS THAN ONE HOUR WHEN ALL PARTS OF THE SYSTEM ARE SUBJECTED TO A PRESSURE OF AT LEAST TEN FEET OF WATER. THE WATER SYSTEM TEST PROCEDURE SHALL CONSIST OF CHARGING THE ENTIRE SYSTEM TO 100 PSIG PRESSURE AND THEN ISOLATING THE SYSTEM FROM ITS SOURCE. THE SYSTEM SHALL REMAIN CLOSED FOR A PERIOD OF 24 HOURS WITH NO FIXTURE BEING USED. THE PRESSURE DIFFERENTIAL FOR THIS 24 HOUR PERIOD SHALL NOT EXCEED 5 PSI.
- 15 CLEAREOATS SHALL BE INSTALLED AT POINTS NOTED ON THE DRAWINGS AS WELL AS AT THE BASE OF ALL STACKS AND OTHER POINTS WHERE REQUIRED FOR EASY CLEANING. CLEAREOATS SHALL BE FULL SIZE OF PIPE UP TO 4". ALL FINISHED FLOOR CLEAREOATS SHALL BE ZURU NO. 20-1020-7 OR FIVE FOUR TEN RECESSED TILE. CLEAREOATS DESIGNATED FOR INSTALLATION IN CONCRETE FLOORS SHALL BE ZURU NO. 20-1020-7 OR FIVE FOUR TEN RECESSED TILE. CLEAREOATS NOTED FOR INSTALLATION IN INTERIOR WALLS SHALL BE ZURU NO. 20-1020-7 OR FIVE FOUR TEN RECESSED TILE.
- 16 GUARANTEE ALL ITEMS OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 17 NATURAL GAS PIPING SHALL BE NEW SCHEDULE 40 BLACK STEEL PIPE ON UNDRAGHT IRON, THREADED PIPE FITTINGS (EXCEPT STOP COCKS OR VALVES) SHALL BE USE GALVANIZED FLEXIBLE IRON OR STEEL JOINTS USED WITH UNDRAGHT IRON OR STEEL PIPE. JOINTS APPROVED BY LOCAL AUTHORITIES HAVING JURISDICTION. COAT IRON FITTINGS IN SIZES 2" AND LARGER MAY BE USED WITH UNDRAGHT IRON AND STEEL PIPE. THE CONNECTION OF PIPE BY WELDING IS PERMISSIBLE. PERMITTED WELDING BELOW FLOOR SHALL BE PLACED IN ENCLOSING SLEEVES VENTED TO THE ATMOSPHERE. VERTICAL CHASES CONTAINING NATURAL GAS PIPING SHALL BE COVERED TO THE ATMOSPHERE. PIPING IN DIRECT CONTACT WITH THE EARTH OR EXPOSED TO THE WEATHER EXTERIOR TO THE BUILDING SHALL BE "X-TRI-CON" PLASTIC TYPE 25 COMPOSITE WITH MANUFACTURER'S RECOMMENDED PROTECTIVE COATING. PLASTIC TYPE 25 COMPOSITE GAS COCKS SHALL BE INSTALLED AT THE GAS INLET OF ALL GAS EQUIPMENT PLACES. GAS PRESSURE REGULATORS REGULATOR ACCESS TO THE ATMOSPHERE FOR SUCCESSFUL OPERATION SHALL BE EQUIPPED WITH A TEST PIPE LEADING TO THE OUTSIDE AIR OR INTO THE CONSTRUCTION CHAMBER ADJACENT TO A CONSTANTLY BURNING PILOT. BEFORE JOINT SYSTEM OF GAS PIPING IS FINALLY PUT IN SERVICE IT SHALL BE CAREFULLY TESTED TO ASSURE THAT IT IS GAS TIGHT. WHERE ANY PART OF THE SYSTEM IS TO BE EXCAVATED OR EXPOSED A TEST SHOULD PRECEED THE WORK OF EXCAVATING. IN TEST FOR TIGHTNESS, THE PIPING MAY BE FILLER WITH COMPRESSED AIR OR LIQUID GAS BUT NOT WITH WATER. IF WATER AND THE PIPING SHALL STAND A PRESSURE OF AT LEAST 100 PSIG OR AT LEAST SIX TIMES OF DESIGN PRESSURE WITH A PRESSURE OF 100 PSIG OR SIX TIMES OF DESIGN PRESSURE MAINTAINED FOR AT LEAST 15 MINUTES WITH NO PERCEPTIBLE DROP IN PRESSURE.

P15-6B

- 18 PROVIDE PLUMBING FIXTURES AND ACCESSORY BRASSWARE AS FOLLOWS. FIXTURES SHALL BE THE PRODUCT OF AMERICAN STANDARD OR ZURU, AS SPECIFIED HEREIN, OR THE EQUIVALENT PRODUCTS OF ELKAY, KOHLER, JENNETT, WOOD OR O.A. SMITH.
- MARK P-1 MEN'S WATER CLOSET:
AMERICAN STANDARD 2109.395 WATER SAVER CABET, ELONGATED BOWL, CLOSE-COUPLED TANK, VITREOUS CHINA
SUPPLY WITH STOP
2 BOLT CAPS
CHURCH 296 OPEN-FRONT ELONGATED SEAT WITH SELF-FLUSHING HINGE
MARK P-2 WOMEN'S WATER CLOSET:
AMERICAN STANDARD 2109.395 WATER SAVER CABET, ELONGATED BOWL, CLOSE-COUPLED TANK, VITREOUS CHINA
SUPPLY WITH STOP
2 BOLT CAPS
CHURCH 295C OPEN-FRONT ELONGATED SEAT WITH CHICK HINGE
MARK P-3 URINAL:
AMERICAN STANDARD 6560.015 VITREOUS CHINA, WALL-HUNG, SPHIND-JET URINAL
SLAID ROYAL 186 FLUSH VALVE
MARK P-4 LAVATORY:
AMERICAN STANDARD 0476.020 AQUALYN LAVATORY - SELF-FLUSHING - VITREOUS CHINA - FRONT OVERFLOW
SUPPLIES WITH STOPS
P-TRAP
AMERICAN STANDARD 2103.737 HERITAGE CENTER SET LAVATORY FAUCET WITH POP-UP DRAIN
MARK P-5 FLOOR DRAIN:
ZURU 20-415 2" FLOOR DRAIN
P-TRAP
MARK P-6 FLOOR DRAIN:
ZURU 20-415 2" FLOOR DRAIN
P-TRAP
MARK P-7 UNDESIGNED:
ZURU 20-415 2" FLOOR DRAIN
P-TRAP
MARK P-8 FLOOR RECEPTOR:
WILLIAMS SERVICE RECEPTOR 50900 WITH STRAINER AND STAINLESS STEEL CAP
AMERICAN STANDARD 8341.075 HERITAGE SERVICE SINK FAUCET WITH ADJUSTABLE VALVES, BUCKET HOOK, CAST BRASS "F" AND "C" TUBED LATER HANGERS, STOPS IN SHAPES AND VARIOUS DETAILER
MARK P-9 GREASE TRAP:
ZURU 2-1170-700 GREASE TRAP/INTERCEPTOR RATED FOR 35 GPM WITH 10 FORDS GREASE RETENTION
MARK P-10 DOMESTIC HOT WATER HEATER:
JACKSON C8G-301-75 75 GALLON STORAGE, 250 GPM RECOVERY AT 100 RISE, 300 PSIG NATURAL GAS INLET, WATER SHALL BE PULSED WITH 2" FIBERGLASS INSULATION, PREVIOUS DRAIN HOOKS, SILENT PUMP BURNERS, DRAIN HOOK, PARTS TEMPERATURE PRESSURE RELIEF VALVE, GAS ACTUATED STOP-OPENING GAS VALVE WITH 100 SHUTOFF AND SAFETY PILOT, ECO, AND THERMOSTAT
19 VARIOUS ITEMS OF KITCHEN EQUIPMENT ARE INDICATED ON THE DRAWINGS. THIS CONTRACTOR SHALL CAREFULLY COORDINATE HIS INSTALLATIONS WITH THE KITCHEN EQUIPMENT SUPPLIER. ITEMS OF KITCHEN EQUIPMENT INCLUDING BRASSWARE AND KITCHEN RECEPTORS SHALL BE FURNISHED AND PLACED BY THE KITCHEN EQUIPMENT SUPPLIER. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL P-TRAPS AND SUPPLIES WITH STOPS AND SHALL PROVIDE PIPING THROUGH-TO AND ALL FINAL CONNECTIONS. REFER ALSO TO THE KITCHEN EQUIPMENT DETAILERS FOR THIS PROJECT.
- 20 PROVIDE NATURAL GAS, DOMESTIC WATER AND SANITARY SEWER UTILITIES TO THIS BUILDING AS INDICATED ON THE DRAWINGS AND IN FULL COMPLIANCE WITH THE SERVING UTILITIES. THIS CONTRACTOR SHALL PAY COSTS OF ALL GAS AND WATER TAP FEES REQUIRED TO PROVIDE NATURAL GAS AND DOMESTIC WATER SERVICE AND SANITARY SEWER SERVICE TO THE PROJECT WITHOUT ADDITIONAL COST TO THE OWNER.
- 21 FURNISH AND INSTALL METALSTOPS, OR APPROVED EQUAL, UNLABELED, TYPE B GAS VENTS AS INDICATED ON THE DRAWINGS AND IN FULL COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS.

P15-6C

- 22 GUARANTEE ALL ITEMS OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- 23 CONSTRUCTION OF THIS PROJECT WILL BE PERFORMED WITHIN AND ADJACENT TO AN EXISTING BUILDING. ALL REQUIRED MODIFICATIONS, REPAIRS, RELOCATIONS OR REVISIONS OF EXISTING PLUMBING SYSTEMS REQUIRED TO PERMIT CONSTRUCTION OF THIS PROJECT SHALL BE PERFORMED WITHIN THE SCOPE OF THE CONTRACT AND WITHOUT ADDITIONAL COST TO THE OWNER.
- EXISTING PIPING SYSTEMS MAY BE REUSED UNDER SUITABLY LOCATED FOR FINAL INSTALLATION REQUIREMENT. IN GOOD MECHANICAL CONDITION, AND WHEN THEIR CAPACITY EQUALS OR EXCEEDS THAT INDICATED ON THE DRAWINGS.
- REMOVE ALL EXISTING PIPING, FIXTURES AND RELATED PLUMBING INSTALLATIONS WHICH ARE IN CONFLICT WITH THE COMPLETED PROJECT AS INDICATED ON THE DRAWINGS. REMOVALS SHALL BE MADE TO PRESENT A NEAT AND FINISHED APPEARANCE WHICH IS ACCEPTABLE TO THE PROJECT ARCHITECT.
- SALVAGED MATERIALS WILL BECOME THE PROPERTY OF THE PLUMBING CONTRACTOR AND WILL BECOME HIS PROPERTY. SALVAGED MATERIALS SHALL BE REMOVED FROM THE JOB SITE BY THIS CONTRACTOR.
- 24 FURNISH AND INSTALL A COMPLETE COMPRESSED AIR SYSTEM FOR OPERATION OF EXISTING CHARACTER ON THE PROJECT. FURNISH AND INSTALL ONE (1) 1/2" BORE INCH, 2500 PSI-RATED AIR COMPRESSOR INSTALLED ON A 20 GAL. ON HORIZONTAL ASBESTOS FIBERGLASS TANK. THE COMPRESSOR MOTOR (LOMP) SHALL BE FURNISHED FOR 200 VOLT, THREE-PHASE, 60 HZ OPERATION AND SHALL BE INSTALLED COMPLETE WITH EXHAUST FAN AND DISCONNECT. THE COMPRESSOR ASSEMBLY SHALL INCLUDE A RELY MOTOR/SEWER MOTOR AND SHALL HAVE A DISPLACEMENT OF 4.31 CPH, AND A RATED HP OF 34.00. THE MOTOR SHALL BE 7000. THE COMPRESSOR INSTALLATION SHALL INCLUDE RELY MOTOR, FULLY ADJUSTABLE PRESSURE SWITCH, PRESSURE GAUGE AND ASBESTOS FIBERGLASS TANK. FURNISH AND INSTALL STEERING ROLL 3/8" BORE INCH AT 7.25 INCHES PER FOOT. 120 VOLT, SINGLE-PHASE, 60 HZ, 15 AMP, 120 VOLT DISCONNECT SWITCH AND THERMATIC STARTER FOR THIS DRIVER. PROVIDE DRIVER CONTROL CONNECTIONS TO FULL CARRY LINE WITH 1/2" BORE INCH RECEPTOR/RELOCATOR. INSTALL COMPRESSOR ON SUPPORTING CONCRETE AND DETAIL ON THE ARCHITECTURAL DRAWINGS. PROVIDE APPROVED VIBRATION ISOLATION UNDER EACH COMPRESSOR FOOT.
- EXTEND COMPRESSED AIR PIPING TO VALVED AUTOMATED CHAMBER UNDERGROUND LOCATIONS AS INDICATED ON THE DRAWINGS. PIPING SHALL BE SCHEDULE 40 PIPE (WHERE APPROVED BY LOCAL CODES). COMPRESSED AIR SHALL GLOBE TO DOWN IN THE DIRECTION OF THE COMPRESSOR AND SHALL BE PROVIDED WITH VALVED DRIP PIPES AT 100 POINTS PER 100 FEET OF PIPE. PIPING SHALL BE 1/2" BORE INCH. PIPING SHALL BE 1000. FROM THE TOP OF HORIZONTAL RUNS. PROVIDE LINE TEMPERATURES AS NOTED ON THE DRAWINGS.

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ROBERT R. BAYLES & ASSOCIATES
KANSAS CITY, MISSOURI

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Showbiz Pizza Place, Inc.
A Subsidiary of Truget Inc. Management, Inc.
200 WEST 20th - DOWNEY, KANSAS 66201
PRESIDENTS OF

UNIT NO.
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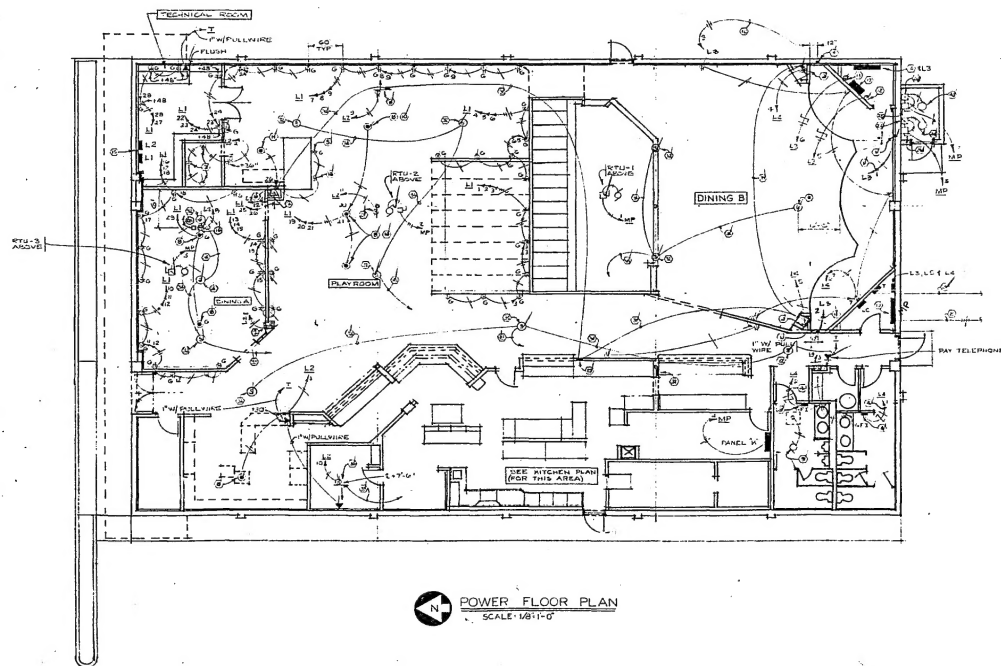
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PROJECT MANUAL

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ASSOCIATED
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ARCHITECTS

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ELECTRICAL REFERENCE NOTES

- ① FLUSH 1-G OUTLET BOX FOR 3/4" CURTAIN MOTOR CONNECTION - INSTALL BELOW STAGE PLATFORM AND PROVIDE ACCESS DOOR.
- ② TV MONITOR STATION: FURNISH AND INSTALL FLUSH GROUNDING DUPLEX RECEPTACLE FOR TV POWER AND BLANKED 1-G SWITCHBOX FOR TV CABLEING. RUN 3/4" WITH RG59U (NOTE ③) FROM SWITCHBOX AS NOTED. SET RECEPTACLE AND SWITCHING IN NECESS BY GENERAL CONTRACTOR OR ABOVE SHELF PROVIDED FOR TV MONITOR.
- ③ FURNISH AND INSTALL WORLD NO. A-5 WHITE, VANDALPROOF HANDDRYER - (30 SECONDS/2300 MATTS/120 VOLTS)
- ④ 1/2", 3/10 TO 30-1P BREAKER (INCLUDES SEPARATE GREEN WIRE GROUND)
- ⑤ SURFACE MOUNT GAME RECEPTACLE AT 36" CENTER-LINE AFF
- ⑥ FLUSH JB WITH 1/2" SURFACE CONDUIT TO GAME OUTLET AND CLOCK OUTLET
- ⑦ INSTALL SPLIT RECEPTABLES 96" CENTER-LINE AFF WITH TOP 1/2 SWITCHED AND BOTTOM 1/2 CONSTANT
- ⑧ VERIFY ALL FLOOR OUTLET LOCATIONS WITH SPP BEFORE INSTALLATION.
- ⑨ 1/12 HP, 120 VOLT, 10 EXHAUSTER - SWITCH WITH MEN'S ROOM LIGHTS
- ⑩ FURNISH AND INSTALL WALKER 800/803-200C HORIZONTAL SERVICE FITTING THIS OUTLET. CONNECT ONE CIRCUIT TO THE TWO GROUNDING DUPLEX RECEPTABLES.
- ⑪ EXTEND CURTAIN MOTOR CIRCUIT TO LIGHTING PANEL-LB BREAKER TERMINATION. LEAVE 12" LEADS FOR LINE CONDUCTORS IN BOX. LOW VOLTAGE WIRING, SWITCHING AND LINE CONNECTIONS WILL BE FURNISHED AND INSTALLED BY SPP. SEE RISER DIAGRAM.
- ⑫ DUPLEX GROUNDING OUTLET FOR ANIMATED CHARACTER COMPUTER
- ⑬ DUPLEX GROUNDING OUTLET FOR ANIMATED CHARACTER AUDIO SYSTEM
- ⑭ LOAD CENTER NO. 1 WITH ANIMATED CHARACTER COMPUTER CONTROL BOXES AND PANEL "13" (SEE RISER)
- ⑮ LOAD CENTER NO. 2 (SEE RISER)
- ⑯ FOUR-INCH OCTAGON BOX IN CEILING WITH SINGLE GROUNDING RECEPTACLE IN COVER - FOR TV SET
- ⑰ ANIMATED CHARACTER COMPUTER
- ⑱ INSTALL CLOCK RECEPTACLE 48" CENTER-LINE AFF
- ⑲ MAIN PANEL "MP" AND SERVICE ENTRANCE EQUIPMENT. SEE RISER.
- ⑳ INCOMING UNDERGROUND SECONDARY SERVICE
- ㉑ STUB AND CAP 1 1/2" PVC 30" BELOW GRADE FOR TELEPHONE SERVICE.
- ㉒ MAGNETIC STARTER WITH OL'S.
- ㉓ 1/2HP, 120V, 10 AIR DRIER
- ㉔ 10HP, 200V, 30 AIR COMPRESSOR FOR ANIMATED CHARACTERS
- ㉕ 30A-1P-S/N-NFD
- ㉖ 60A-3P-NFD
- ㉗ GFI IN CAST BOX WITH GASKETED SPRING COVER. INSTALL ON ROOFTOP UNIT
- ㉘ RUN 1/2" EMT WITH RG59U COAX TO BUSHED TERMINATION ABOVE CEILING OF TECHNICAL ROOM. LEAVE 12" SLACK AT TERMINATIONS.
- ㉙ 4 11/16" SQUARE, FLUSH AND BLANKED TV MONITOR JB SET WITH CENTER-LINE 12" AFF
- ㉚ 3/4" WITH RG59U COAX. LEAVE 12" SLACK AT TERMINATIONS THIS CONTRACT.
- ㉛ FURNISH AND INSTALL 4-11/16" SQUARE, FLUSH AND BLANKED AUDIO JB SET WITH CENTER-LINE 60" AFF. RUN AUDIO CONDUITS WITH PULL-WIRES FROM THIS BOX AS NOTED ON DRAWING E1. RUN 3/4" x 3" NIPPLE OUT TOP OF BOX TO SINGLE-GANG BLANKED SWITCHBOX PROVIDED FOR MICROPHONE INSTALLATION. FURNISHING AND INSTALLATION OF CABLEING, MICROPHONE AND SWITCHING SHALL BE BY SPP (E1C).
- ㉜ BLANKED 4" OCTAGON BOX ABOVE CEILING FOR SPEAKER CONNECTION BY SPP.
- ㉝ FURNISH AND INSTALL 1/2" EMT WITH PULL-WIRE TO AUDIO JB MARK ⑪ FOR AUDIO CABLEING BY SPP.
- ㉞ FURNISH AND INSTALL 1/2" EMT WITH PULL-WIRE FOR AUDIO CABLEING FOR SPP
- ㉟ FURNISH AND INSTALL 3/4" EMT WITH PULL-WIRE TO AUDIO JB MARK ⑪ FOR AUDIO INPUT AND OUTPUT CABLEING BY SPP.
- ㊱ FURNISH AND INSTALL SINGLE-GANG SWITCH BOX 7'-6" CENTER-LINE AFF FOR AUDIO CABLEING.

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ELECTRICAL SYSTEMS

ROBERT R. BAYLES & ASSOCIATES
KANSAS CITY, MISSOURI



Showbiz Pizza Place, Inc.
A Subsidiary of Truett-Hughes Inc.
200 WEST 29th, TOPEKA, KANSAS 66601

UNIT NO.
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FLOOR PLAN

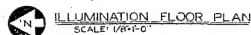
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DATE
5-15-20

ASSOCIATED
DESIGNERS &
ARCHITECTS

DESIGNER
JOHN J. BAYLES, P.E.
JOHN J. BAYLES, P.E.
JOHN J. BAYLES, P.E.

E1

5/15/21

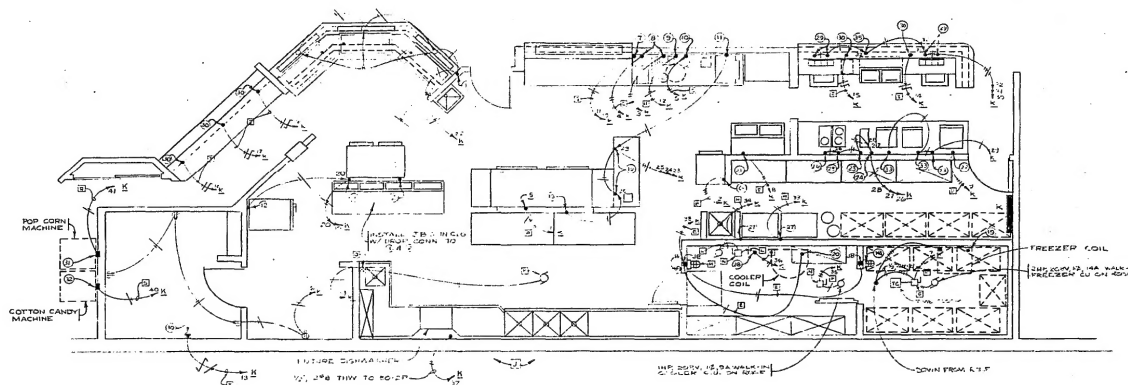


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KITCHEN ELECTRICAL REFERENCE NOTES

1. 1/2", 3-12 TO 20-2P
2. 1/2", 3-10 TO 30-3P
3. 1/2", 2-12 TO 20-2P
4. 1/2", 3-12 TO 20-3P
5. 1/2", 2-12
6. 1/2", 2-10 TO 30-2P
7. 1/2", 3-12 TO TWO 20-2P
8. 1/2", 2-10 TO 30-1P
9. CLEAN CIRCUITS FOR CASH REGISTERS WITH SEPARATE GREEN WIRE GROUNDS
10. REFER TO KITCHEN EQUIPMENT DRAWINGS FOR EQUIPMENT IDENTITY, DIMENSIONAL LOCATIONS FOR BRAND-ING. KITCHEN EQUIPMENT WILL BE FURNISHED AND INSTALLED BY KITCHEN EQUIPMENT SUPPLIER FOR CONNECTION BY ELECTRICAL CONTRACTOR. FURNISH AND INSTALL JBS, CONNECTING DEVICES AND OTHER ACCESSORIES AS REQUIRED.
11. INSTALL GRY LUX LAMPS IN THIRTY" FIXTURES.
12. 1/2", 2-10
13. COLDER LIGHT
14. 30A-2P-1PFD-NEMA 3R
15. 30A-2P-1PFD-NEMA 3R
16. 1/4HP, 120V/1B ROOFTOP EXHAUSTER (SEF-MECHANICAL)
17. LOCATE EXHAUSTER CONTROLLER AS DIRECTED
18. RUN 3/4" 2# THW FROM 84/1P (PANEL "K" CIRCUIT NO. 41) TO POP CORN MACHINE
19. RUN 1/2", 2-10 TH FROM 30/1P (PANEL "K" CIRCUIT NO. 40) TO COTTON CANDY MACHINE



KITCHEN ELECTRICAL SYSTEMS
SCALE 1/8" = 1'-0"



Showbiz Pizzas Place, Inc.
A Subsidiary of Pizzaplanet Management, Inc.
200 WEST 9TH - TOPDON, KANSAS 66101
Developed by: JF

UNIT NO.

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KITCHEN
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SYSTEMS

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ELECTRICAL SYSTEMS
ROBERT R. BAYLES & ASSOCIATES
Consulting Engineers
KANSAS CITY MISSOURI

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